



It is the responsibility of the owner or authorized agent to provide complete and accurate information. This form will not be accepted as an application until such time as all questions have been answered and all requirements have been met in the manner requested herein. Please read the following carefully:

		FOR OFFICE USE ONLY	
		FEE	FILE NO.
		\$	A /20
		PAYMENT RECEIPT STAMP	
PROPERTY INFORMATION			
Property Address	1001 WALKER AVENUE FF, ON		
Tax Roll No.	59 - 12 - 010 - 007 - 21100		
Legal Description			
OWNER/APPLICANT INFORMATION			
Registered Owner(s)	AMANDA OLSON + DUANE WALTON		
Application Contact	807-276-2366		
Full Mailing Address	1001 WALKER AVENUE FF, ON P9A 1H5		
Telephone	807-276-2366		
Email	mandikins1987@gmail.com		
AGENT INFORMATION (if applicable)			
Company Name			
Application Contact			
Full Mailing Address			
Telephone			
Email			
Note – All communication will be sent to Application Contact unless otherwise requested			
MORTGAGEES, HOLDERS OF CHARGES OR OTHER ENCUMBRANCES			
Institution	CIBC		
Contact/Reference	807-274-5391		
Full Mailing Address	203 SCOTT ST. FF, ON P9A 1G8		
Telephone	807-274-5391		
Email	N/A.		

- Describe the nature and extent of relief applied for (indicate what the by-law requirement is, the relevant section of the by-law, and what you are proposing):

Section 3.2 of Zoning by-law – to permit

i) in a residential zone shall not exceed 5.0 metres in height, or contain more than one storey, except that where a dwelling unit is a permitted accessory use it shall not contain more than two storeys. In all other zones the maximum height shall not exceed 6.5 metres.

* Proposing a new garage build, 2 storey, with max height of 7.4m (24'3").
Attaching: highlighted bylaw requirement, 7 page detailed blueprint,
Photos of existing/ proposed garage location, letter from home owners.



2.	Why is it not possible to comply with the provisions of the by-law? (Provide an explanation of the circumstances that hinder or restrict your ability to comply)			
	The request is for a second story as we would like additional storage space within our garage. This proposed plan is economical (financially) but also environmental (less supplies wasted / easier to heat in the winter) as well as utilizes less sq-footage across the land. This request is also a safer practice than reinforcing rafters and utilizing a ladder.			
3.	When did the current owner acquire the Property?	Amanda - 2009.		
4.	Provide the date of construction for all buildings and structures on the Property.			
	• Original home - 1980's • Addition on home - unknown • Current garage - unknown.			
5.	What is the existing use of the Property?	Residential - Type 1		
6.	How long has the existing use of the Property continued?	Always		
7.	What is the existing use of the abutting properties?			
	North	South	East	West
	Residential	Residential	Town Road	Vacant open / CN Rail bed
8.	Dimensions of the Property:			
	Property Dimensions		Metric	Imperial
	Frontage:			521
	Depth:			355.95'
	Area:			18,509.4 sq. ft.



9.

Building/Structure Particulars		
Describe the particulars (in metric) of all buildings and/or structures existing and proposed for the Property.		
Main Building: <i>All imperial.</i>	Existing	Proposed
Ground Floor Area:	<i>1225 sq. ft.</i>	<i>N/A</i>
Width:	<i>25'</i>	
Length:	<i>49'</i>	
# of Storeys:	<i>1</i>	
Location of Building/Structure – Check geographic direction of Side Yard Setbacks		
Front Yard:	<i>28.5'</i>	
Rear Yard:	<i>278.45'</i>	
North <input checked="" type="checkbox"/> or East <input type="checkbox"/> - Side Yard:	<i>11.5'</i>	
South <input checked="" type="checkbox"/> or West <input type="checkbox"/> - Side Yard:	<i>15.5'</i>	
Accessory Building: <i>Garage</i>		
	Existing	Proposed
Ground Floor Area:	<i>852.59 ft.</i>	<i>1680 sq ft</i>
Width:	<i>24'</i>	<i>30'</i>
Length:	<i>35.5'</i>	<i>56'</i>
# of Storeys:	<i>1</i>	<i>2</i>
Height:	<i>12'</i>	<i>24.3'</i>
Distance to Main Building:	<i>9.2'</i>	<i>200'</i>
Location of Building/Structure – Check geographic direction of Side Yard Setbacks		
Front Yard:	<i>86.7'</i>	<i>274.95'</i>
Rear Yard:	<i>233.75'</i>	<i>25'</i>
North <input checked="" type="checkbox"/> or East <input type="checkbox"/> - Side Yard:	<i>26.5'</i>	<i>23'</i>
South <input checked="" type="checkbox"/> or West <input type="checkbox"/> - Side Yard:	<i>1.5'</i>	<i>3'</i>

Note – Above information to match Site Plan

10.

Check the appropriate box to Indicate connected or available services to the Property:		
Source of Service:	Municipal	Private
Water	<i>✓</i>	
Sanitary Sewer	<i>✓</i>	
Storm Sewer	<i>✓</i>	



11.

Check the appropriate box to indicate access to the Property:

Source of Access:	Yes	No
Municipal Road	✓	
Other Public Road		
Water Access Only		

12.

What is the Official Plan designation of the Property?

Living

13.

What is the Zoning of the Property?

Residential Type I

14.

Has the Owner ever applied for a minor variance or permission regarding the Property?

Yes ☐ No ☒ If Yes, provide details, including file number, date, decision, etc.

15.

Is the Property the subject of a current application for consent under section 53 of the Planning Act, 1990, as revised? Yes ☐ No ☒ If Yes, provide details, including file number, date, etc.

16.

DECLARATION

I/We, AMANDA OLSON/DIANE WATSON solemnly declare that all the statements contained in this application are true and make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the Town of Fort

Frances, in the District of Rainy River this

4th day of July, 2022.

A Commissioner, etc.

(Signature of Owner or Agent)

(Signature of Owner or Agent)

**Karyn L. Haney, a Commissioner for
the Corporation of the Town of Fort
Frances, District of Rainy River.**



17. A sketch showing the following:

- i. The boundaries and dimensions of the subject land.
- ii. The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- iii. The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- iv. The current uses on land that is adjacent to the subject land.
- v. The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right of way.
- vi. If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- vii. the location and nature of any easement affecting the subject land.



OWNER'S AUTHORIZATION, ACKNOWLEDGMENT & CONSENT

(Must be signed by each Owner – print more copies as required)

Amanda DeWitt
Diane Walker

1061 WALKER AVE.

I, Diane Walker, am an Owner of the property known as 1061 Walker Ave. in the Town of Fort Frances, that is the subject of this Application, and hereby

Authorize Agent to Act (if applicable):

1. Authorize and instruct N/A to act as my Agent and make this application on my behalf.

Freedom of Information:

2. Acknowledge that the information collected in this application is collected under the authority of The Planning Act, R.S.O. 1990, Chapter P13, as amended to assist in the processing of the application and will become part of a public record and, for the purposes of the Freedom of Information and Protection of Privacy Act, authorize and consent to the use by or the disclosure to, any person or public body of any personal information.
3. Acknowledge that full copies of the application are provided to the members of the Committee of Adjustment and as a result, **any information contained in it** is made public.

Right to Enter Premises:

4. Authorize the members of the Committee of Adjustment and/or staff of The Town of Fort Frances as may be required, to enter upon the lands and premises identified in section 5 that are the subject of this application for the purpose of evaluating the merits of this application and for so doing, this shall be good and sufficient authority; and

Consent re Meeting:

5. Consent to the application herein being considered at the next regular meeting of the Committee of Adjustment notwithstanding that section 45 of the Planning Act requires they be heard within thirty days after the secretary-treasurer receives the completed application.

July 4, 2022

Date

Owner Signature

Owner Signature

June 29, 2022

Town of Fort Frances
320 Portage Avenue
Fort Frances, ON
P9A 3P9

Re: Application for Minor Variance

To Whom It May Concern,

Please accept this letter as a formal request for permission on behalf of Amanda Olson and Duane Walton (1061 Walker Avenue, Fort Frances, ON residence) as per our application for minor variance submission.

Amanda has been a resident at the above address since purchasing in 2009. Duane was later added to the property in 2019 as a secondary owner. Our lot size is approximately 52' frontage by 356' deep. Within our request, you will see we are seeking permission to allow for a new garage structure to be built which will include a second storey access for storage within the garage. We understand that we are applying for relief under section 3.2 (i), asking for permission to exceed the 5.0-meter height limitation, with a secondary story. Our intent is to remove our existing garage and rebuild the new structure further back on our property.

We have weighed many options as to how to move forward with the build which included consideration given to economics, environmental as well as practical uses. As you will see in our application, our home is small, a single story approximately 1200 sq. ft. therefore space, especially storage, is extremely limited as our crawl space has minimal access as well. The reason we need the additional height is for various purposes including:

- Second storey access would allow for roughly additional sq. footage of storage space
- Environmental:
 - Less supplies/wastage minimal for the build itself
 - Land protection- utilizing less land, still allows for yard and garden
- Safety- we would not have to worry about reinforcing rafters and using ladders to access our items
- Economics- More affordable to heat in the winter
- Food Sovereignty- if built within the existing height limitations, there would not be enough ceiling height to hang our wild game (moose/deer)
- Substantially increasing land & home value

Within our application we have also included blueprints, a land map as well as photos showing the present-day structures/views of our property. We also want to let you, the committee, know that the newly proposed build will not impede on our neighbours views or impact them in any direct/indirect way. We have done our due diligence to ensure that we are not only meeting our needs, but also respecting our neighbours to the north and south.

We appreciate your consideration for our application and welcome you to contact us to ask questions, come and view the proposed location, or even drive by our home to see for yourself.

Thankyou,



Amanda Olson & Duane Walton
1061 Walker Avenue
807-276-2366

This detailed cross-section drawing illustrates the construction of a roof assembly. The components are labeled as follows:

- HIGHEST RIDGE**: Located at the top right corner.
- 24.3"**: Vertical dimension from the ridge to the bottom of the foundation.
- 10.1'**: Horizontal distance from the ridge to the centerline of the foundation.
- 14'-2 11/16"**: Total horizontal width of the roof assembly.
- 10'-1 1/8"**: Horizontal distance from the centerline to the edge of the foundation.
- PWF BOTTOM PLATE ANCHORED TO FOOTING**: A plate anchoring the wall to the foundation.
- W/ 1/2" x 8" ANCHOR BOLTS @ 48" O.C.**: Anchor bolts securing the plate to the footing.
- GASKET SEAL**: Sealant applied around the anchor bolts.
- 1.5' TOP OF SUBFLOOR - FOUNDATION**: Elevation marker at the top of the foundation.
- 1.5' BOTTOM OF FOOTING**: Elevation marker at the base of the footing.
- R10 TYPE 4 RIGID INSULATION EXTENDING 48" BEYOND SLAB**: Insulation extending beyond the slab edges.
- 4-15M BAR CONTINUOUS (-2.15M TOP & BOTTOM)**: Reinforcing bars in the concrete slab.
- 10M STRIPS @ 36" O.C.**: Strips supporting the insulation.
- 12" X 18" CLUB FOOTING**: The base concrete footing.
- ARCHITECTURAL SHINGLES**: Roofing material on the gable end.
- ROOF UNDERLAY**: Underlayment beneath the shingles.
- 7/16" OSB w/ "H" CLIPS**: Structural sheathing on the gable end.
- 2X10 #2 SFF RAFTERS @ 24" C/C**: Rafters supporting the gable end sheathing.
- R21 INSULATION**: Insulation in the gable end cavity.
- 6 MIL GCSB VAPOUR BARRIER**: Vapor barrier on the gable end.
- 1/2" PLYWOOD or EQUIVALENT**: Sheathing on the gable end.
- 3/4" T&G OSB SHEATHING**: Structural sheathing on the main roof slope.
- 2X10 FLOOR JOISTS @ 18" O.C.**: Floor joists supporting the main roof deck.
- R21 INSULATION**: Insulation between floor joists.
- 6 MIL GCSB VAPOUR BARRIER**: Vapor barrier under the main roof deck.
- 1/2" PLYWOOD or EQUIVALENT**: Subfloor under the main roof deck.
- 2x6 #2 SFF PLATE**: Plate supporting the main roof deck.
- SIDING**: Exterior finish on the main wall.
- HOUSE WRAP**: Weather-resistant wrap over siding.
- 7/16" OSB SHEATHING**: Sheathing over the house wrap.
- 2x6 #2 SFF STUDS @ 16" C/C**: Studs supporting the exterior wall sheathing.
- R21 INSULATION**: Insulation in the main wall cavity.
- 6 MIL GCSB VAPOUR BARRIER**: Vapor barrier over the main wall sheathing.
- 1/2" PLYWOOD or EQUIVALENT**: Sheathing over the main wall.

Reo & Mandy Olsen
Garage - 1061 Walker Ave
Fort Frances, Ontario
NOT FOR PERMIT



Box 646, Eimo
Ontario, P0W 1E0
Cell: 807-276-3815
BCIN: 102602
email: dan.dgmsign@gmail.com
Drawings provided by: Dan Mack BCIN 102602

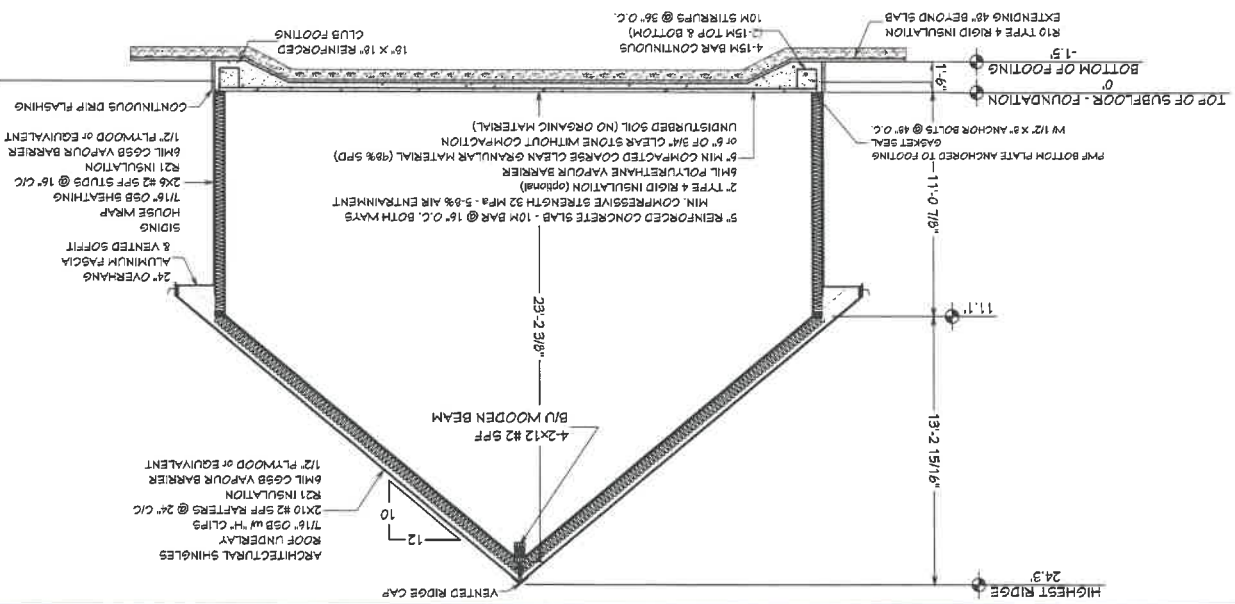
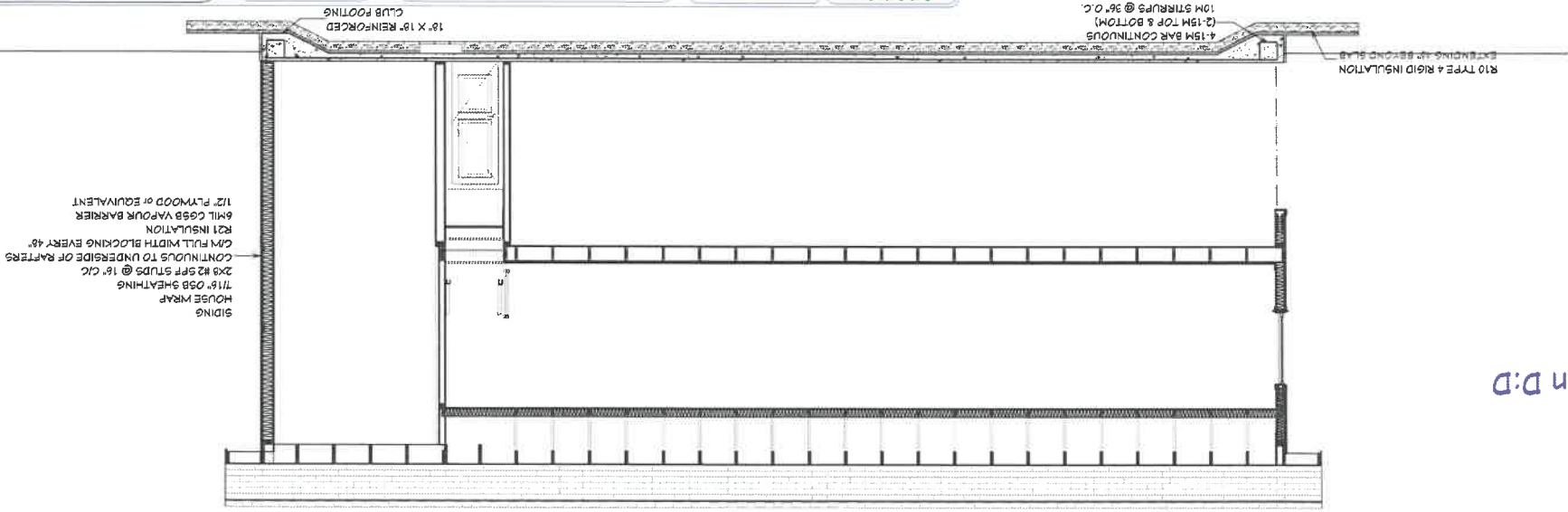
Box 646, Elm
 Ontario, P0W 1E0
 Cell: 807-276-3815
 Email: dan.dgmdesign@gmail.com
 BCIN: 102602
 Drawings provided by: Dan Mack BCIN 102062



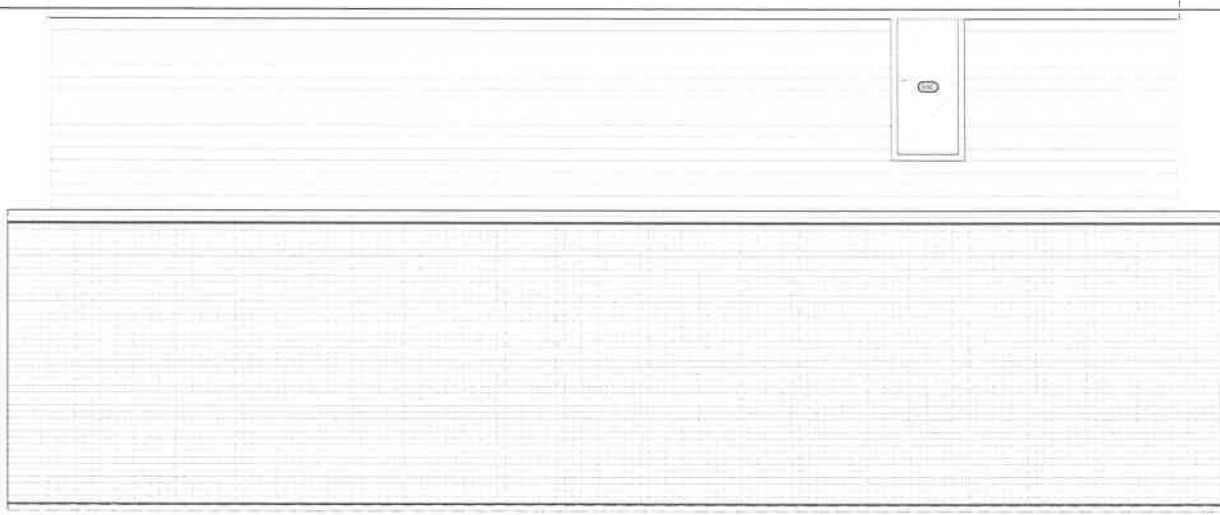
May 24, 2022
 June 24

Reo & Mandy Olsen
 Garage - 1061 Walker Ave
 Fort Frances, Ontario
 NOT FOR PERMIT

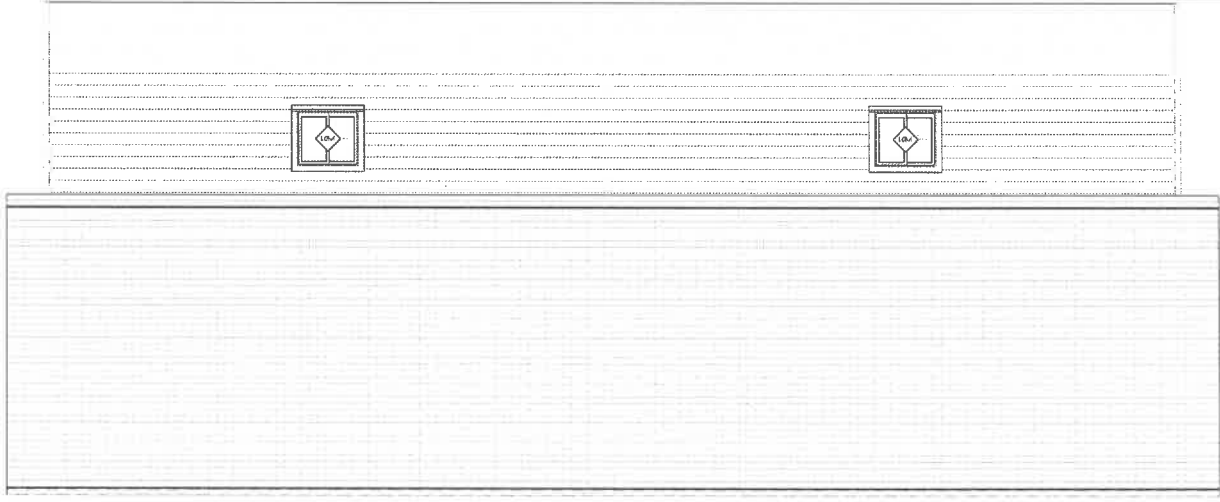
SHEET NUMBER	A-4.1
DATE	JUNE 29
SCALE	3/16" = 1'-0"
SECTION	C:C



Exterior Elevation Front



Exterior Elevation Back



FRONT & BACK
ELEVATIONS
TITLE

A-5.0
SHEET NUMBER

3/16: 1'-0"
SCALE

JUNE 29
DATE

Reo & Mandy Olsen
Garage - 1061 Walker Ave
Fort Frances, Ontario
NOT FOR PERMIT

May 24, 2022
June 29

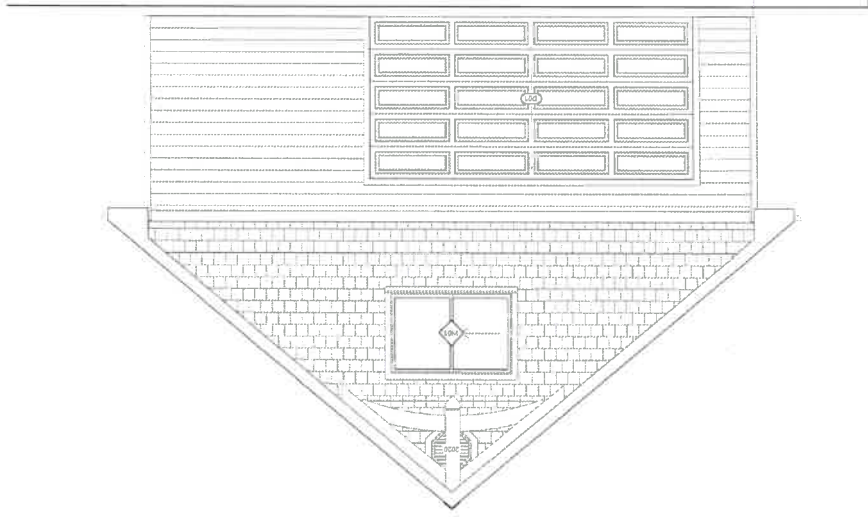


Box 646, Emo
Ontario, P0W 1E0
Cell: 807-276-3815

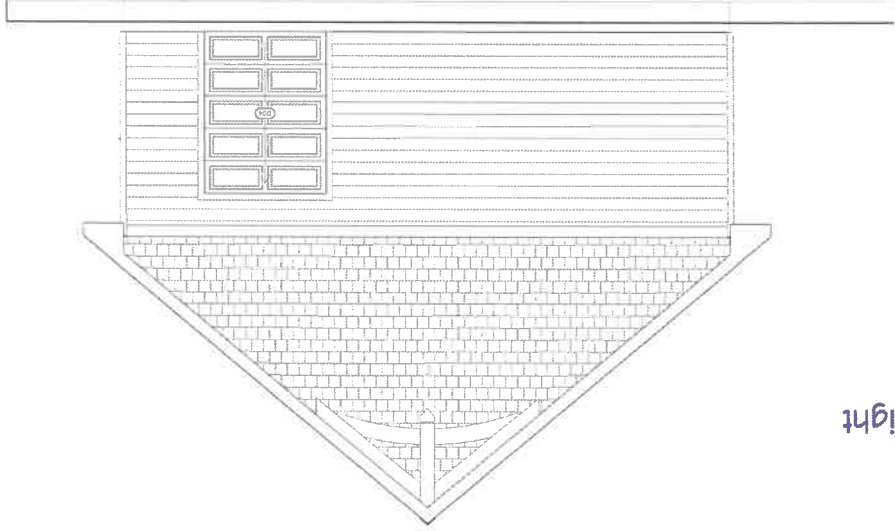
BCIN: 102602

Drawings provided by: Dan Mack BCIN 102062
Email: dan.dgmdesign@gmail.com

Exterior Elevation Left



Exterior Elevation Right



Box 646, Emo
Ontario, P0W 1E0
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email: dan.dgmdesign@gmail.com
BCIN: 102602
Drawings provided by: Dan Mack BCIN 102062

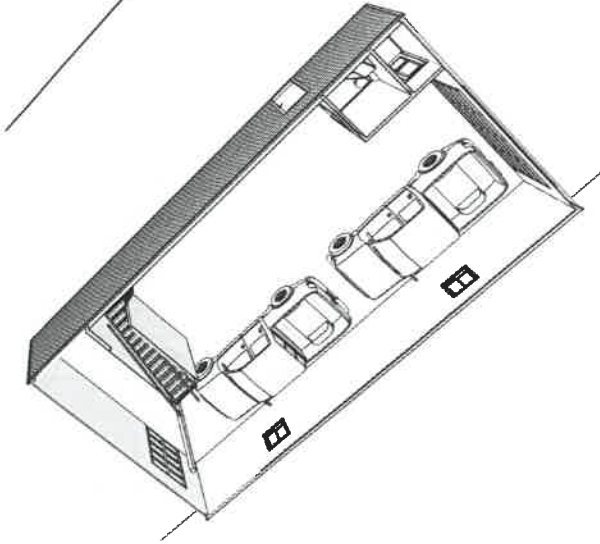
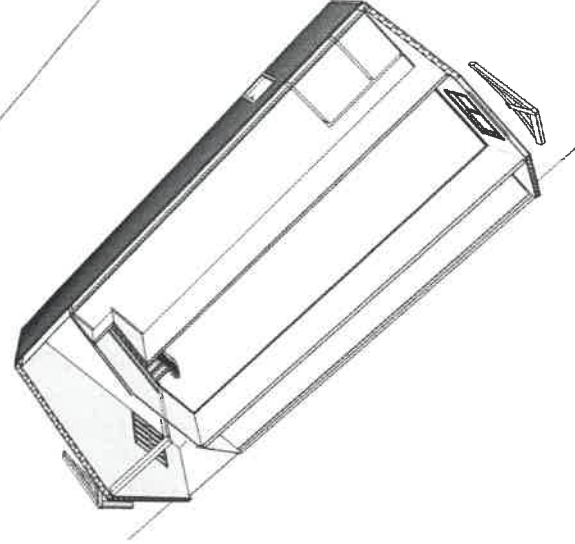
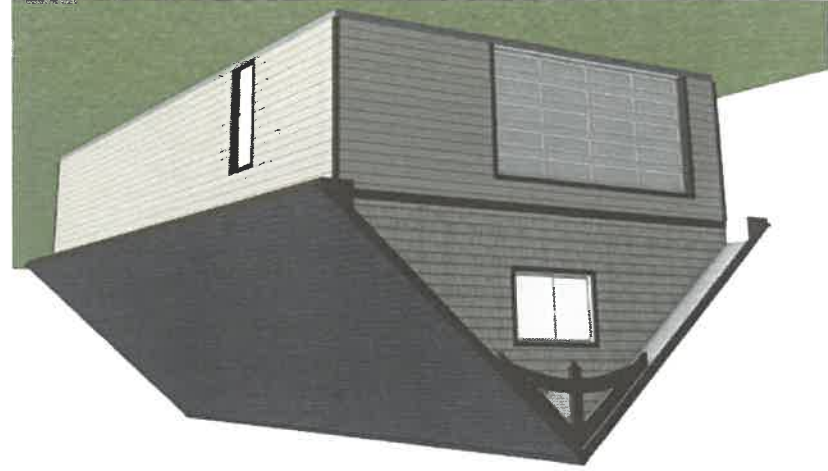
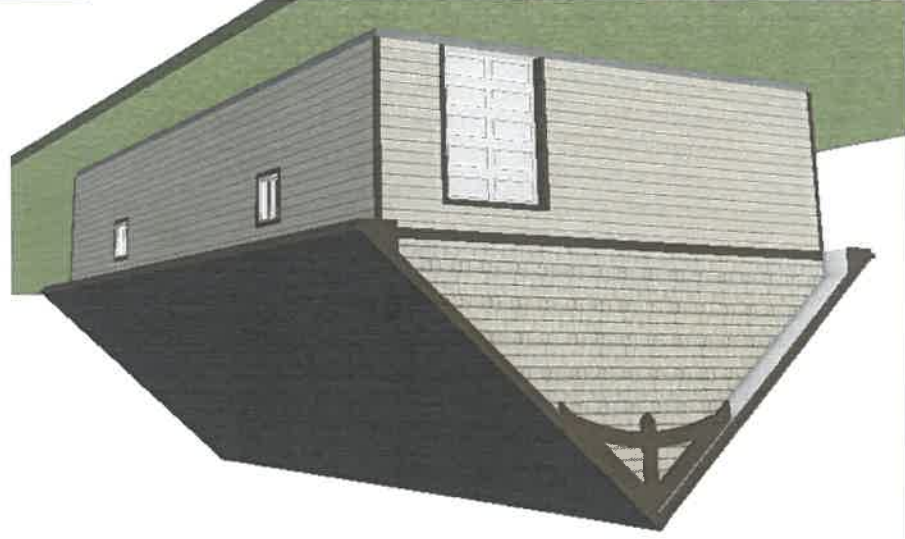


May 24, 2022
June 29

Reo & Mandy Olsen
Garage - 1061 Walker Ave
Fort Frances, Ontario
NOT FOR PERMIT

DATE
JUNE 29
SCALE
3/16: 1'-0"

SHEET NUMBER
A-5.1
TITLE
RIGHT & LEFT
ELEVATIONS



3D
Overview
TITLE

SHEET NUMBER

No Scale
SCALE

JUNE 29
DATE

Reo & Mandy Olsen
Garage - 1061 Walker Ave
Fort Frances, Ontario
NOT FOR PERMIT

May 24, 2022
June 29

DGM
Design

Box 646, Emo
Ontario, P0W 1E0
cell: 807-276-3615
email: dan.dgmdesign@gmail.com
BCIN: 102602
Drawings provided by: Dan Mack BCIN 102062

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Drawings provided by: Dan Mack BCIN 102062
Box 646, Emo
Ontario, P0W 1E0
Cell: 807-276-9815



May 24, 2022
June 29

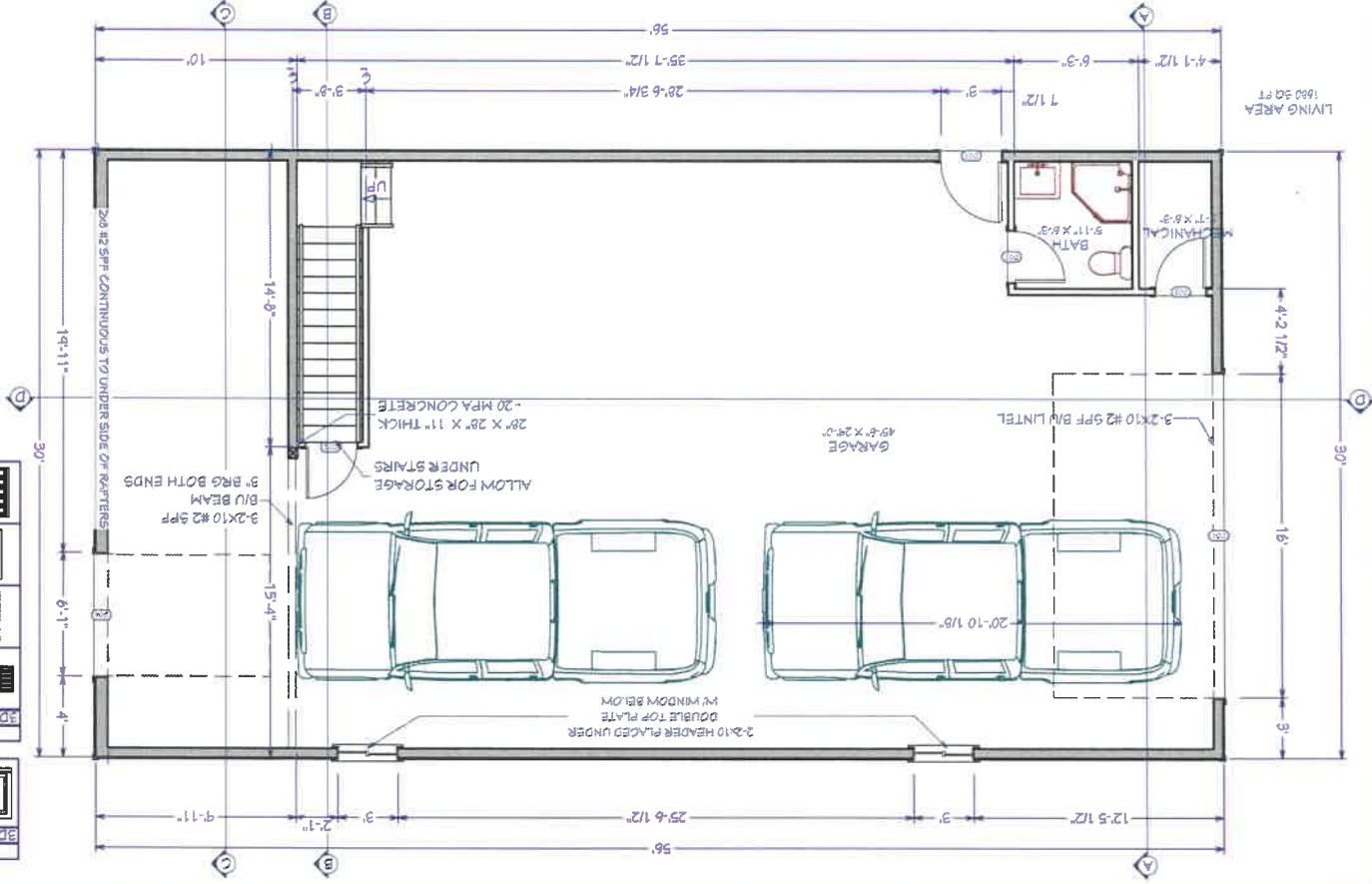
Reo & Mandy Olsen
Garage - 1061 Walker Ave
Fort Frances, Ontario
NOT FOR PERMIT

DATE
JUNE 29

SCALE
3/16" = 1'-0"

SHEET NUMBER
A-1.0

TITLE
MAIN FLOOR



WINDOW SCHEDULE					DOOR SCHEDULE						
3D EXT.	NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	3D EXT.	NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION
	W01	2	36 "	32 "	37"X33" LEFT SLIDING		D01	1	142 "	46 "	GARAGE-GARAGE DOOR P03
							D02	3	30 "	80 "	HINGED-DOOR P04
							D03	1	36 "	80 "	EXT. HINGED-SLAB
							D04	1	72 "	46 "	GARAGE-GARAGE DOOR P01

ATTIC

TITLE

A-1.1

SHEET NUMBER

3/16" : 1'-0"

SCALE

JUNE 24

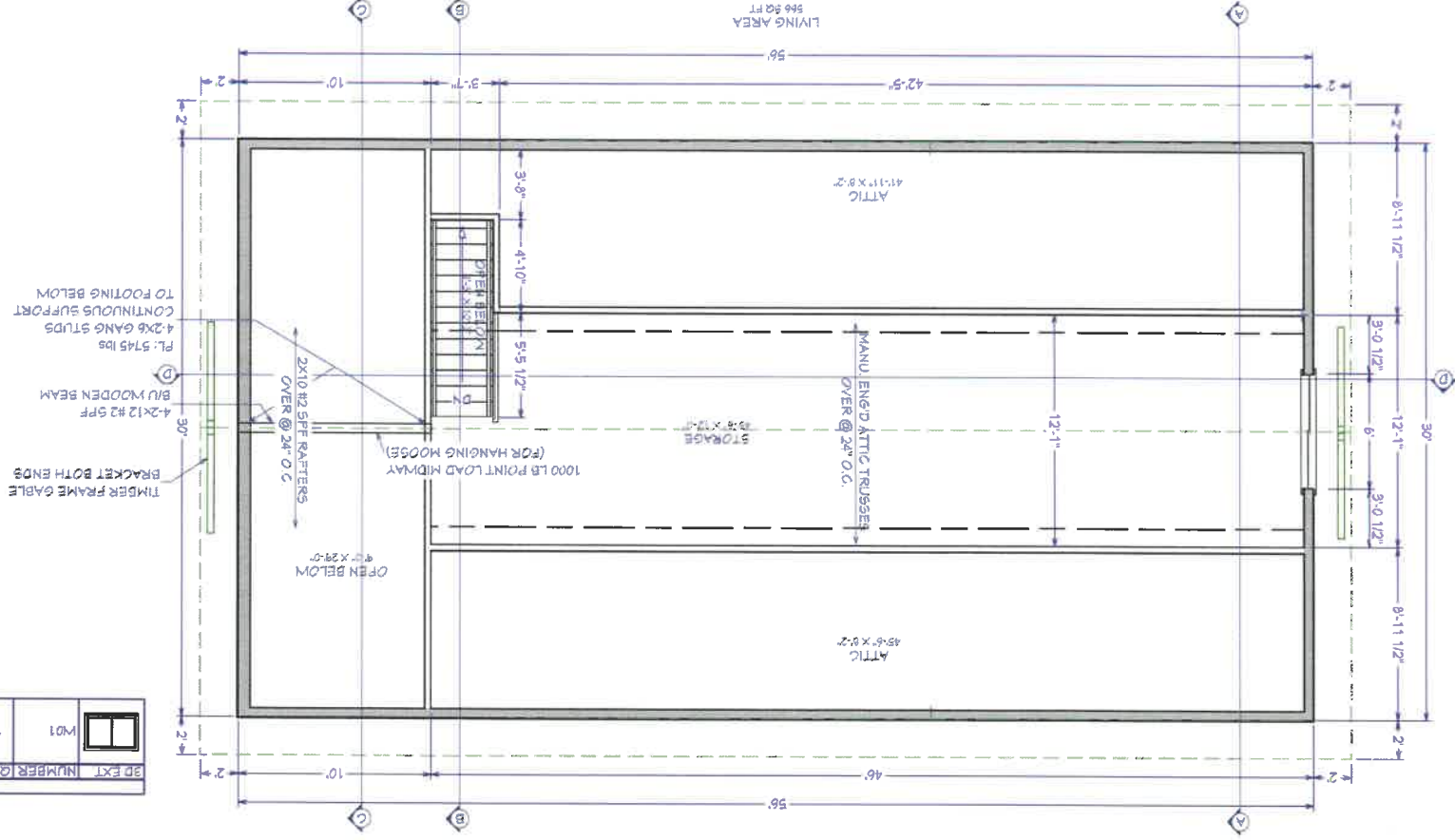
DATE

Reo & Mandy Olsen
Garage - 1061 Walker Ave
Fort Frances, Ontario
NOT FOR PERMIT

May 24, 2022
June 29



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Ontario, P0W 1E0
cell: 807-276-3815
email: dan.dgmdesign@gmail.com
BCIN: 102602
Drawings provided by: Dan Mack BCIN 102062



WINDOW SCHEDULE					3D EXT	DESCRIPTION
W/O	NUMBER	QTY	WIDTH	HEIGHT		
W01	1	1	72"	48"	73"x49"	LEFT SLIDING

3.2 ACCESSORY BUILDINGS, STRUCTURES AND USES

Accessory buildings or structures, are permitted in any yard, in any zone, subject to the provisions of this By-law for the particular zone in which said building, structure, or use is located, provided the principle building, structure or use is already in existence on the lot¹, and provided that the accessory building, structure or use:

- a) shall not be used for human habitation, except where an accessory residential use is permitted use;
- b) accessory residential units above boat houses shall not be permitted;
- c) shall not be built closer to the front lot line than the minimum distance required by this By-law for the main building on the lot unless otherwise specified;
- d) shall not be located in the front yard or exterior side yard nor be built closer to the street than the main building is to that street except in an industrial zone where a gatehouse is permitted in the front yard;
- e) may be permitted in the front yard of a lot abutting a lake or river;
- f) shall not be built closer than 1.5 metres to any lot line;
- g) no detached accessory building or structure shall be located closer than 2.0 metres to a main building unless the accessory structure is a gazebo;
- h) shall not exceed 15 percent coverage of the total lot area;
- i) in a residential zone shall not exceed 5.0 metres in height, or contain more than one storey, except that where a dwelling unit is a permitted accessory use it shall not contain more than two storeys. In all other zones the maximum height shall not exceed 6.5 metres;²³
- j) shall not be considered as an accessory building or structure if attached to the main building in any way except for an accessory apartment dwelling that is permitted above or behind a commercial or industrial use;
- k) shall not be considered an accessory building or structure if located completely underground;
- l) where a commercial retail use is permitted as an accessory use in an industrial zone, it shall be located within the main building or within 2.0 metres of the main building and shall not exceed 10% of the total floor area of the main building to a maximum of 280 square metres; and
- m) No land may be used for the purpose of a swimming pool capable of containing in excess of 0.6 metres (2 ft.) of water unless the pool is enclosed by a fence, or by the wall of a

¹ Amendment May 9, 2016 to clarify accessory use building uses

² Amendment 3/14-B – Sept. 8, 2014 – to correction to compensate for new definition of height

³ Amended February 6, 2020

VACANT - CN RAILBEDS

TOWN OF FF POWER CORP.

8TH STREET

6TH STREET

No structures or features
Trees/Lawn Only

No structures or features
Trees/Lawn Only

PROPOSED LOCATION
FOR NEW GARAGE

OUR HOME:
1061 WALKER AVENUE

1065
WALKER AVENUE

1051
WALKER AVENUE

WALKER AVENUE



PROPERTY DESCRIPTION:

PCL BLK 3-5 SEC SM139; PT BLK 3 PL SM139 MCIRVINE PT 2, 48R1126; FORT FRANCES

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
ABSOLUTE

OWNERS' NAMES

WALTON, DUANE REO
OLSON, AMANDA JENNIFER

CAPACITY SHARE

JTEN

RECENTLY:
FIRST CONVERSION FROM BOOK

FIN CREATION DATE:
2003/06/16

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHRD
48R1126	1974/07/22	PLAN REFERENCE				C
A76154	2000/10/27	TRANSFER		*** COMPLETELY DELETED ***	GERHARD, RANDY MORRIS GERHARD, IRIS JEAN	
A76155	2000/10/27	CHARGE		*** COMPLETELY DELETED ***	CIBC MORTGAGES INC.	
A83245	2003/08/25	TRANSFER		*** COMPLETELY DELETED ***		
A83246	2003/08/25	CHARGE		*** COMPLETELY DELETED ***	POLLARD, DARREN WILLIAM	
A83923	2003/11/10	DISCH OF CHARGE		*** COMPLETELY DELETED ***	CIBC MORTGAGES INC.	
RD11026	2008/06/16	CHARGE	\$95,910	POLLARD, DARREN WILLIAM	CIBC MORTGAGES INC.	
RD11027	2008/06/16	DISCH OF CHARGE		*** COMPLETELY DELETED ***		
RD14331	2009/09/30	TRANSFER		*** COMPLETELY DELETED ***	POLLARD, DARREN WILLIAM	
		REMARKS: PLANNING ACT STATEMENTS			OLSON, AMANDA JENNIFER CAUL, BRADLY LORNE KENNETH	

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

56018-0918 (LT)

LAND
REGISTRY
OFFICE #48

ServiceOntario



* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHRD
RD21064	2012/07/11	LIE		*** COMPLETELY DELETED *** LEGAL AID ONTARIO		
RD27517	2015/05/08	TRANSFER		*** COMPLETELY DELETED *** CAUL, BRADLY LORNE KENNETH OLSON, AMANDA JENNIFER	OLSON, AMANDA JENNIFER	
RD27518	2015/05/08	CHARGE		*** COMPLETELY DELETED *** OLSON, AMANDA JENNIFER		
RD27524	2015/05/11	DISCHARGE INTEREST		*** COMPLETELY DELETED *** LEGAL AID ONTARIO	CIBC MORTGAGES INC.	
RD30638	2016/07/27	CHARGE	\$112,000	OLSON, AMANDA JENNIFER	CANADIAN IMPERIAL BANK OF COMMERCE	C
RD30639	2016/07/27	DISCH OF CHARGE		*** COMPLETELY DELETED *** CIBC MORTGAGES INC.		
RD32874	2017/06/16	CHARGE		*** COMPLETELY DELETED *** OLSON, AMANDA JENNIFER	CANADIAN IMPERIAL BANK OF COMMERCE	
RD37075	2019/02/07	TRANSFER		OLSON, AMANDA JENNIFER	WALTON, DUANE REO OLSON, AMANDA JENNIFER	C
RD37076	2019/02/07	CHARGE	\$140,000	OLSON, AMANDA JENNIFER WALTON, DUANE REO	CANADIAN IMPERIAL BANK OF COMMERCE	C
RD37129	2019/02/21	DISCH OF CHARGE		*** COMPLETELY DELETED *** CANADIAN IMPERIAL BANK OF COMMERCE		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

SCALE



PROPERTY INDEX MAP
RAINY RIVER(No. 48)

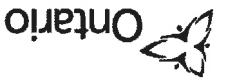
LEGEND

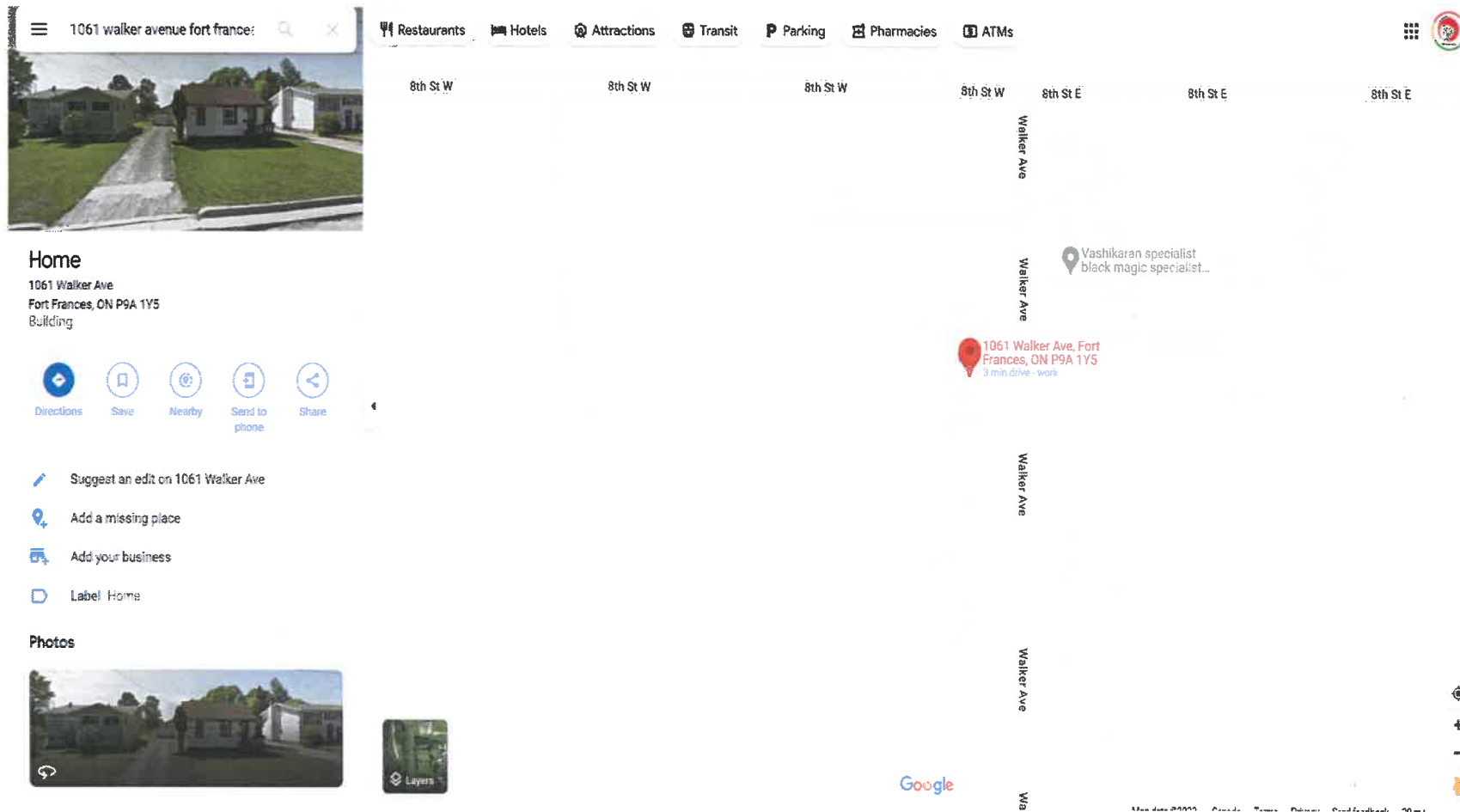
- FREEHOLD PROPERTY
- LEASEHOLD PROPERTY
- LIMITED INTEREST PROPERTY
- CONDOMINIUM PROPERTY
- RETIRED PIN (MAP UPDATE PENDING)
- PROPERTY NUMBER
- BLOCK NUMBER
- GEOGRAPHIC FABRIC
- EASEMENT

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE
PROPERTY INFORMATION AS THIS MAP MAY
NOT REFLECT RECENT REGISTRATIONS
THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND
REGISTRATION SYSTEM AND HAS BEEN PREPARED
FOR PROPERTY INDEXING PURPOSES ONLY
FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS
ONLY MAJOR EASEMENTS ARE SHOWN
REFERENCE PLANS ARE NOT ILLUSTRATED





Google Map view of Walker Avenue with marker on existing home.



As shown on Google Map, there are no obstructions for any neighbour which will impact the utilizing or view of their backyard.

FROM HOME - LOOKING WEST INTO BACKYARD. NO STRUCTURES/OBSTRUCTIONS.



BACKYARD VIEW - SHOWS NO OBSTRUCTIONS OR IMPEDES BN VIEW.





BACKYARD
VIEW.