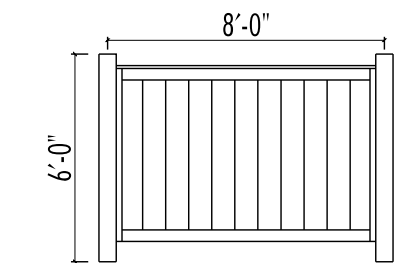


NEW MULTI-FAMILY CONSTRUCTION (814 SCOTT STREET)

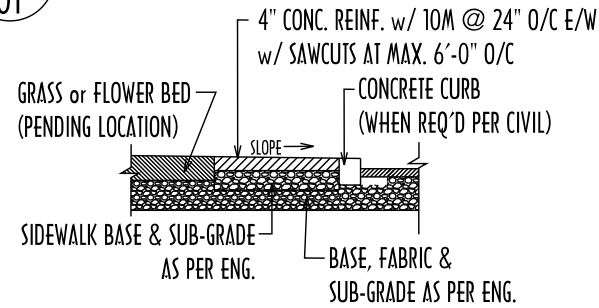
3x6=18 PLEX
16 RESIDENTIAL

23 STALLS REQ'D
23 TOTAL STALLS (1.28/unit)
1 ACCESSABLE

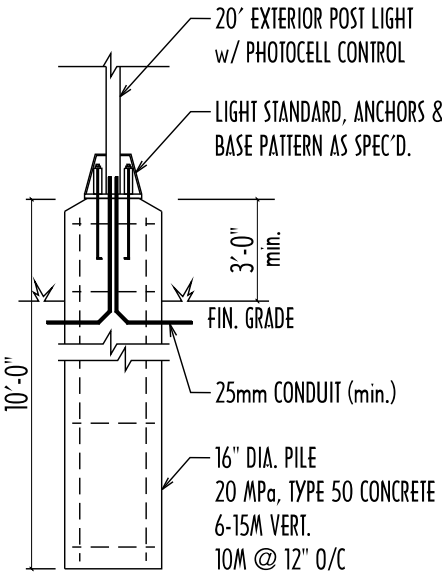
LOT = 22,400 SQ FT
BLDG FOOTPRINT = 5,358 +- SQ FT (24%)
PARKING LOT = 7,600 SQ FT (34%)
GREENSPACE = 42%



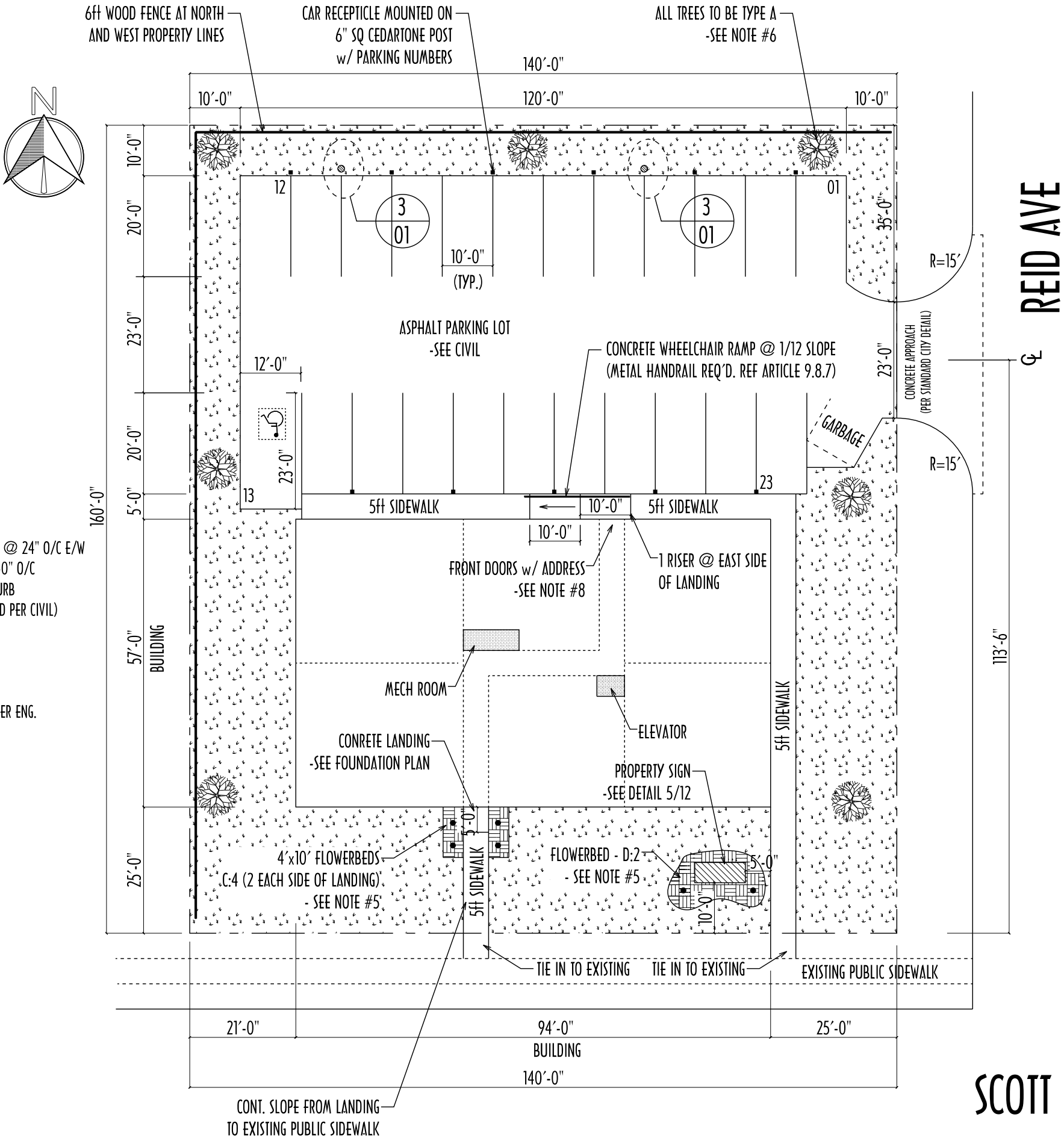
1
01 WOOD FENCE PANEL



2
01 SIDEWALK DETAIL (TYP.)



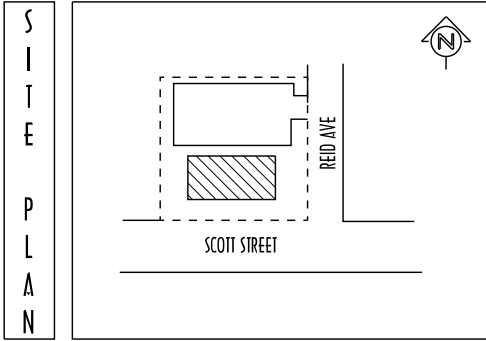
3
01 LIGHT POST DETAIL (QTY:2)



- GENERAL NOTES:
- 1) GREENSPACE TOTALS APPROX. 8,500 SQ. FT
SIDEWALKS TOTAL APPROX. 935 SQ. FT.
PARKING LOT TOTALS APPROX. 7,600 SQ. FT.
 - 2) FINAL ENTRANCE SIGNAGE DESIGN TO BE SHOWN ON MANUFACTURER DRAWING.
 - 3) SEE PG 03 FOR FOUNDATION PLAN.
 - 4) SIDEWALKS TO BE 5'-0" WIDE AND 4" THK (TYP.) UNLESS OTHERWISE DIMENSIONED.
 - 5) FLOWER BEDS TO BE FILLED WITH 3" MULCH AND SURROUNDED BY PLASTIC EDGING. TO BE SHAPED IN A VISUALLY PLEASING DESIGN.
 - 6) ALL TREES TO BE SURROUNDED BY APPROX. 30" DIA. OF MULCH (3" THICK) AND PLASTIC EDGING.
 - 7) UNLESS INDICATED OTHERWISE, ALL AREAS TO RECIEVE LANDSCAPING AND GRASS EXCEPT FOR THE PARKING LOT, FLOWERBEDS, & SIDEWALKS.
 - 8) BOTH EXTERIOR ENTRY DOORS TO HAVE DECAL WITH THE ADDRESS "814" CENTERED ON GLASS FONT TO BE "ARIAL BOLD", WHITE, AT 3.5" HIGH
 - 9) SIDEWALKS TO BE 4" THK w/ 32MPA CONCRETE

- LANDSCAPING LEGEND
- A (QTY 7) = SILVER MAPLE 2" CALIPER
 - B (QTY 0) = N/A
 - C (QTY 6) = KARL FOERSTER REED GRASS (OR SIMILAR)
 - D (QTY 2) = SPIRAEA GOLDCHARM (OR SIMILAR)

DRAWING REVISIONS		
Rev #	Date	Revision
1	mm/dd/yyyy	description here...
2		
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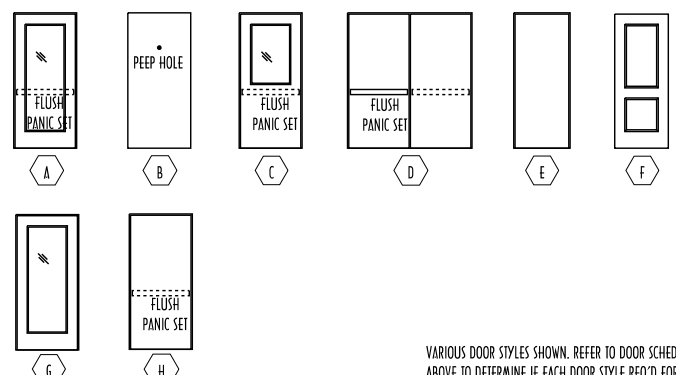
HILLSIDE CONSTRUCTION

1-49 Clearspring Rd. Steinbach, MB R5G 1V2
PH. 204.326.1582
E-mail: info@hillsideconstruction.ca

Location: 814 Scott Street, Fort Francis, ON	FFIVE DEVELOPMENT COMPANY
Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: SITE & LANDSCAPING PLAN	Page: 01

BUILDING CLASSIFICATION CODE: 2011 BUILDING CODE (INCLUDING THE ENERGY CODE AMENDMENT) MAJOR OCCUPANCY PART 9 - HOUSING & SMALL BUILDINGS ARTICLE 1.3.3.2 1) c) NEW CONSTRUCTION: TOTAL FLOORS ABOVE GRADE: 3 TOTAL AREA: 15,040 SQ. FT L1 FLOOR AREA: 5,070 SQ. FT L2 FLOOR AREA: 5,070 SQ. FT L3 FLOOR AREA: 4,900 SQ. FT SOUND CONTROL: EVERY DWELLING UNIT SHALL BE SEPERATED FROM THE OTHER BY A CONSTRUCTION PROVIDING A SOUND TRANSMISSION CLASS (STC) RATING OF AT LEAST 50 ARTICLE 9.11.2.1 FIRE RESISTANT RATING REQUIREMENTS: 2 HOUR FIRE WALL DIVIDING THE BUILDING ARTICLE 3.1.10.2	SEPERATION OF EXITS SHALL BE 45 MIN. ARTICLE 9.9.4.2 LOAD BEARING WALLS, COLUMNS AND ARCHES: 45 MIN. RATING ROOF ASSEMBLY: NO RATING FLOOR ASSEMBLY: 45 MIN. RATING ARTICLE 9.10.8.1 & 9.10.8.3 SEPERATION OF RESIDENTIAL OCCUPANCIES IS 1 HOUR ARTICLE 9.10.9.11 SEPERATION OF PUBLIC CORRIDORS IS 45 MIN. ARTICLE 9.10.9.15 SEPERATION OF STORAGE/UTILITY ROOMS SHALL BE 45 MIN. ARTICLE 9.10.10.6 A SMOKE ALARM SHALL BE INSTALLED IN EACH UNIT SO THAT EACH BEDROOM IS PROTECTED BY A SMOKE ALARM EITHER INSIDE THE BEDROOM OR, IF OUTSIDE, WITHIN 5m, MEASURED FOLLOWING CORRIDORS AND DOORWAYS, OF THE BEDROOM DOOR. ARTICLE 9.10.19.1 & 9.10.19.2 FULLY SPRINKLERED: NO LOADBEARING STRUCTURES: FRR NOT LESS THAN SUPPORTED ASSEMBLY
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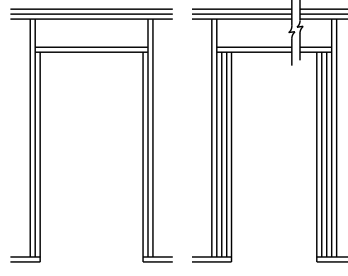
GENERAL NOTES 1) CONTRACTORS TO REVIEW ALL DRAWINGS, WITH ANY DESCREPANCIES BROUGHT TO THE ATTENTION OF HILLSIDE PRIOR TO TENDER CLOSING. THIS SHALL INCLUDE STRUCTURAL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND CIVIL DRAWINGS. 2) TRADES REQUIRED TO SEAL ALL PENETRATIONS THROUGH RATED ASSEMBLIES w/ A ULC LISTED FIRE STOP SYSTEM THROUGH ALL VERTICAL PARTITIONS AND FLOOR FIRE SEPERATIONS TO MAINTAIN THE INTEGRITY OF THE REQ'D FIRE SEPERATION TO ALL AREAS. 3) ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF APPLICABLE CODES AND REGULATIONS IN EFFECT IN THE PLACE OF WORK.
--

DOOR SCHEDULE									
GENERAL NOTES: 1) THE DOOR SCHEDULE IS TO BE READ IN CONDUCTION WITH THE DRAWINGS. DISCREPANCIES ARE TO BE BROUGHT TO HILLSIDE CONSTRUCTION PRIOR TO TENDER CLOSING. 2) CONFIRM ALL OPENING SIZES ON SITE. 3) INTERIOR SUITE DOORS ARE SIZED AT EACH LOCATION ON FLOORPLANS, TO BE PAINTED HOLLOW CORE WOOD, STYLE PER CUSTOMER SELECTION 4) HARDWARE GROUPS ARE CONSIDERED TO BE ONE PER DOOR (U.N.O.) DOUBLE DOORS REQUIRE TWO SETS. 5) DOOR FRAME THROAT DEPTH TO BE WIDE ENOUGH TO ENCASE THE ENTIRE WALL UNLESS DETAILED OTHERWISE. 6) CALUK ALL DOOR FRAMES PRIOR TO PAINTING 7) ALL LOCKSETS TO BE KEYED TO BUILDING MASTER KEY. (2 KEYS PER LOCKSET) 8) ALL METAL DOORS TO BE PAINTED (U.N.O.)									
DOOR DOORS ARE SUGGESTED SIZES. OWNER/CONTRACTOR TO VERIFY STYLES, OPERATION & ROUGH OPENING.								FRAME	FIRE LABEL REMARK NOTES
NO.	LOCATION	R.O.	THK.	STYLE	MATERIAL	TYPE	MATERIAL		
D01	EXTERIOR COMMON ENTRY	34-1/4" x 82-1/8"	1 3/4"	C	METAL	METAL	METAL	20	1,2,3,4,5,6
D02	SUITE ENTRY	38-1/4" x 82-1/8"	1 3/4"	B	METAL	METAL	METAL	20	1,4,7
D03	DECK	34-1/4" x 82-1/8"	1 3/4"	G	METAL	WOOD	WOOD	20	5
D04	EXTERIOR COMMON -EXIT ONLY	34-1/4" x 82-1/8"	1 3/4"	C	METAL	METAL	METAL	20	1,4,5
D05	CORRIDOR STORAGE	34" x 81"	1 3/4"	E	METAL	KNOCK DOWN	METAL	45	1,4
D06	HALLWAY EXITS	37-3/4" x 81"	1 3/4"	C	METAL	KNOCK DOWN	METAL	45	1,7
D07	COMMON MECH / ELEV. RM	37-3/4" x 81"	1 3/4"	E	METAL	KNOCK DOWN	METAL	45	1,4
D08	CORRIDOR TO CORRIDOR	70-1/2" x 82-1/2"	1 3/4"	D	METAL	KNOCK DOWN	METAL	70	
DOOR STYLES									
									
VARIOUS DOOR STYLES SHOWN. REFER TO DOOR SCHEDULE ABOVE TO DETERMINE IF EACH DOOR STYLE REQ'D FOR THIS PROJECT									
REMARK NOTES: 1) PROVIDE CLOSER & DOORSTOP 2) PROVIDE POWER OPERATOR SYNC'D TO INTERCOM SYSTEM 3) PROVIDE GUARD RAIL ON HINGE SIDE TO PROTECT FROM DOOR SWING 4) LOCK & KEY REQ'D 5) WEATHERSTRIPPING (cont'd) 6) ELECTRIC STRIKE SYNC'D TO INTERCOM 7) SMOKE SEAL									

WALL SCHEDULE			
<div>A</div> <div>LOAD BEARING WALL - 1 HOUR RATING -EXTERIOR FINISH AS INDICATED ON ELEVATIONS -STUCCO WIRE (FOR STUCCO/CULTURED STONE FINISHES ONLY) -1x4 VERTICAL STRAPPING @ 24" O/C -2 LAYERS OF TYPAR WRAP C/W TUCK TAPE (BLUEGOO @ WINDOWS) -1.5" CONTINUOUS RIGID INSULATION (R-7.5) -7/16" O.S.B. WALL SHEATHING -2x6 SPR. #2 STUDS @ 12" O/C @ L1 -2x6 SPR. #2 STUDS @ 16" O/C @ L2 -2x6 SPR. #2 STUDS @ 24" O/C @ L3 -R-22 INSULATION (R20 INSULATION @ L3) -6 MIL POLY VAPOUR BARRIER (CCSB) -5/8" TYPE X GYPSUM BOARD</div> <div>NON-LOAD BEARING WALL - 1 HOUR RATING -EXTERIOR FINISH AS INDICATED ON ELEVATIONS -STUCCO WIRE (FOR STUCCO/CULTURED STONE FINISHES ONLY) -1x4 VERTICAL STRAPPING @ 24" O/C -2 LAYERS OF TYPAR WRAP C/W TUCK TAPE (BLUEGOO @ WINDOWS) -1.5" CONTINUOUS RIGID INSULATION (R-7.5) -7/16" O.S.B. WALL SHEATHING -2x6 SPR. #2 STUDS @ 12" O/C @ L1 -2x6 SPR. #2 STUDS @ 16" O/C @ L2 -2x6 SPR. #2 STUDS @ 24" O/C @ L3 -R-22 INSULATION (R20 INSULATION @ L3) -6 MIL POLY VAPOUR BARRIER (CCSB) -5/8" TYPE X GYPSUM BOARD</div> <div>LOAD BEARING EXTERIOR ACCENT WALL -EXTERIOR FINISH AS INDICATED ON ELEVATIONS -STUCCO WIRE (FOR STUCCO/CULTURED STONE FINISHES ONLY) -2 LAYERS OF TYPAR WRAP C/W TUCK TAPE -7/16" O.S.B. WALL SHEATHING -2x6 SPR. #2 STUDS @ 24" O/C -2x6 PRESSURE TREATED BOTTOM PLATE WITH 1" HIGH PRESSURE TREATED 1/2" PLYWOOD</div> <div>NOT USED FOR THIS PROJECT</div> <div>NON-COMBUSTIBLE WALL -EXTERIOR FINISH AS INDICATED ON ELEVATIONS -STUCCO WIRE (FOR STUCCO/CULTURED STONE FINISHES ONLY) -2 LAYERS OF TYPAR WRAP C/W TUCK TAPE (BLUEGOO @ WINDOWS) -5/8" TYPE X GLASS/ROCK EXTERIOR WALL SHIT. -5 1/2" 16 GA. STEEL STUDS @ 16" O/C -R-20 INSULATION -6 MIL. CCSB POLY V.B. -5/8" TYPE X GYPSUM WALL BOARD</div> <div>NOT USED FOR THIS PROJECT</div> <div>PATIO/BALCONY FIRE WALL - 2 HOUR RATING -EXTERIOR FINISH AS INDICATED ON ELEVATIONS -STUCCO WIRE (FOR STUCCO/CULTURED STONE FINISHES ONLY) -2 LAYERS OF TYPAR WRAP C/W TUCK TAPE -7/16" O.S.B. WALL SHEATHING -2x4 STUDS @ 16" O/C -2x4 HORIZ. BLOCKING AT BREAKAWAY CLIP -1" AIR SPACE -2 LAYERS 1" DENSGLASS ULTRA SHAFTLINER PANEL -1" AIR SPACE -2x4 STUDS @ 16" O/C -2x4 HORIZ. BLOCKING AT BREAKAWAY CLIP -7/16" O.S.B. WALL SHEATHING -TYPAR WRAP C/W TUCK TAPE -STUCCO WIRE -STUCCO EXTERIOR FINISH</div> <div>NOT USED FOR THIS PROJECT</div> <div>PLUMBING WALL -1/2" STD. DRYWALL -2x6 STUDS @ 24" O/C -1/2" STD. DRYWALL</div>	<div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>G<div>LOAD BEARING SEPERATION WALL- 1 HOUR RATING -5/8" TYPE X GYPSUM BOARD -RESILIENT METAL CHANNELS @ 24" O/C -2x4 STUDS @ 16" O/C EACH SIDE (OFFSET) - ON EVERY LEVEL -3M SOUND SHIELD (4"x15") -1" AIR SPACE -3M SOUND SHIELD (4"x15") -2x4 STUDS @ 16" O/C EACH SIDE (OFFSET) - ON EVERY LEVEL -RESILIENT METAL CHANNELS @ 24" O/C -5/8" TYPE X GYPSUM BOARD</div></div> <div>H<div>TYPICAL INTERIOR SUITE PARTITIONS -1/2" STD. DRYWALL -2x4 STUDS @ 24" O/C -1/2" STD. DRYWALL</div></div> <div>I<div>FIRE WALL - 2 HOUR RATING -1/2" STD. DRYWALL -R-12 INSULATION -2x4 STUDS @ 16" O/C -2x4 HORIZ. BLOCKING @ 48" O/C -1" AIR SPACE -2 LAYERS 1" DENSGLASS ULTRA SHAFTLINER PANEL -1" AIR SPACE -2x4 STUDS @ 16" O/C -2x4 HORIZ. BLOCKING @ 48" O/C -R-12 INSULATION -1/2" STD. DRYWALL</div><div>NOT USED FOR THIS PROJECT</div></div> <div>J<div>PARTITION @ CORRIDOR - 1 HOUR RATING -5/8" TYPE X GYPSUM BOARD (2 LAYERS REQ'D @ L1 ONLY) -2x6 STUDS @ 12" O/C (L1 ONLY) - @ 16" O/C FOR L2 & L3 -3M R1223" FIBERGLASS IN WALLS -RESILIENT METAL CHANNELS @ 24" O/C -2 LAYERS 5/8" TYPE X GYPSUM BOARD</div></div> <div>K<div>MECHANICAL WALL -5/8" TYPE X GYPSUM BOARD -2x6 STUDS @ 16" O/C -2 LAYERS 5/8" TYPE X GYPSUM BOARD</div><div>NOT USED FOR THIS PROJECT</div></div> <div>L<div>COMMON MECHANICAL WALL -5/8" TYPE X GYPSUM BOARD (2 LAYERS REQ'D @ L1 ONLY) -2x6 STUDS @ 12" O/C (L1 ONLY) - @ 16" O/C FOR L2 & L3 -3M R1223" FIBERGLASS IN WALLS -RESILIENT METAL CHANNELS @ 24" O/C -2 LAYERS 5/8" TYPE X GYPSUM BOARD - 1 LAYER 1/2" PLYWOD (TO AID MOUNTING EQUIPMENT)</div></div> <div>M<div>FIRE WALL - 4 HOUR RATING - 2 LAYERS 5/8" STD DRYWALL -2x2 STRAPPING @ 24" o/c (FASTENED TO WEBS) -2-3/4" LOGIX FORM -8" CONCRETE -2-3/4" LOGIX FORM -1/2" STD DRYWALL</div><div>NOT USED FOR THIS PROJECT</div></div> <div>N<div>ELEVATOR SHAFT WALL - 1HR RATING -2 LAYERS 5/8" TYPE X GYPSUM BOARD -RESILIENT METAL CHANNELS @ 24" O/C -2x4 STUDS @ 12" O/C (ALL LEVELS) -3M R1223" FIBERGLASS IN WALLS FRAMED AT 12" O/C -1" AIR SPACE -2x4 STUDS @ 12" O/C (ALL LEVELS) -3M R1223" FIBERGLASS IN WALLS FRAMED AT 12" O/C -RESILIENT METAL CHANNELS @ 24" O/C -2 LAYERS 5/8" TYPE X GYPSUM BOARD</div></div>	<div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>

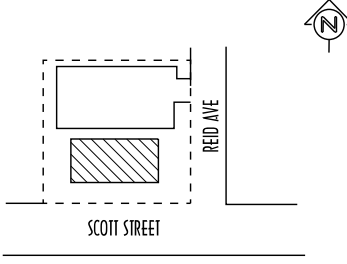
FINISH SCHEDULE		
ID	DESCRIPTION	FINISH
F01	SHINGLES	30 YEAR LAMINATED - OC Duration "Onyx Black"
F02	SOFFIT & FASCIA	KAYCAN "WHITE" - (SOFFIT VENTED ALUMINIUM)
F03	O.H. DOORS	(NOT USED)
F04	WINDOWS	DUAL PANE LOW-E ARGON - WHITE PVC
F05	STUCCO	STANDARD STUCCO (AS LIGHT AS POSSIBLE)
F06	ACRYLIC STUCCO	FINISH TO MATCH BENJAMINE MOORE 'SOAPSTONE' R-9994 (TEXTURED FINISH)
F07	BRICK/STONE	EL DORADO TUNDRA BRICK - "HARTFORD" (LIGHT GROUT)
F08	SOLID WOOD	SPRUCE DIMENSIONAL LUMBER (PER DETAIL) - PAINTED WHITE
F09	EXTERIOR LAP SIDING 1	FIBRE CEMENT - JAMES HARDIE - ARCTIC WHITE (BOTH WINDOW & CORNER TRIMS - WHITE)
F10	EXTERIOR LAP SIDING 2	(NOT USED)
F11	SHAKES	(APPLY F09 IN LEU OF SHAKES)

WINDOW & DOOR NOTES 1) EXTERIOR WINDOWS & DOORS: - WINDOWS AND DOORS ARE SUGGESTED SIZES. OWNER WITH CONTRACTOR TO VERIFY STYLES, OPERATION & ROUGH OPENING - ALL BEDROOMS MUST HAVE AN OPERABLE WINDOW WITH AN UNOBSTRUCTED OPENING OF NOT LESS THAN 0.35m2 (3.767 SQ. FT.) IN AREA WITH NO DIMENSION LESS THAN 380mm (14.960") AS PER 9.7.1.2 - WINDOW BRAND AND FINISHED DETERMINED WITH OWNER. 2) INTERIOR DOORS: -INTERIOR DOORS (L2 & L3) TO BE FRAMED 1" HIGHER TO ACCOMMODATE GYPCORE FLOOR TOPPING. GYPCORE TO BE APPLIED AFTER FIRST PAINT PRIMER COAT TO WALLS OF DRYWALL. -ALL INTERIOR SUITE DOORS ARE STANDARD RESIDENTIAL STYLE DOORS (SEE DOOR SCHEDULE FOR SIZES) -ALL INTERIOR DOORS ARE FINISHED TO MATCH JOB DETAILS

ROOFING GENERAL NOTES 1) ROOF CONSTRUCTED WITH ASPHALT SHINGLES AND ASPHALT ROLL ROOFING c/w SYNTHETIC UNDERLAY 2) EAVE PROTECTION & STARTER STRIP REQUIRED 3) FOR ASPHALT SHINGLES ON LOW SLOPED ROOFS WITH A PITCH OF 3/12 OR LESS, CONSTRUCTION IS TO CONSIST OF AN UNDERLAY OF TWO PILES OF ASPHALT SATURATED FELT OR ONE PLY OF SELF-ADHERING MODIFIED ASPHALT MEMBRANE. HEADER/LINTEL GENERAL NOTES: 1) WHERE LINTELS ARE MADE OF 2 OR MORE MEMBERS, THE MEMBERS MUST BE FASTENED WITH 2 ROWS OF 3-1/4" NAILS @ 18" o/c LINTEL MEMBERS MAY BE SEPERATED WITH FILLERS TO MAKE LINTEL FLUSH WITH WALL. 2) ALL LINTELS SHALL BE 2-2X10 SPRUCE #2 OR BETTER UNLESS OTHERWISE NOTED. 3) BLOCKING IS REQUIRED BETWEEN FLOOR JOIST AND AT RUNS BELOW ALL POINT LOADS. 4) FOR GLULAM & 3-4 PLY LUMBER LINTELS, A MINIMUM OF 3 STUDS IS REQUIRED FOR BEARING.	
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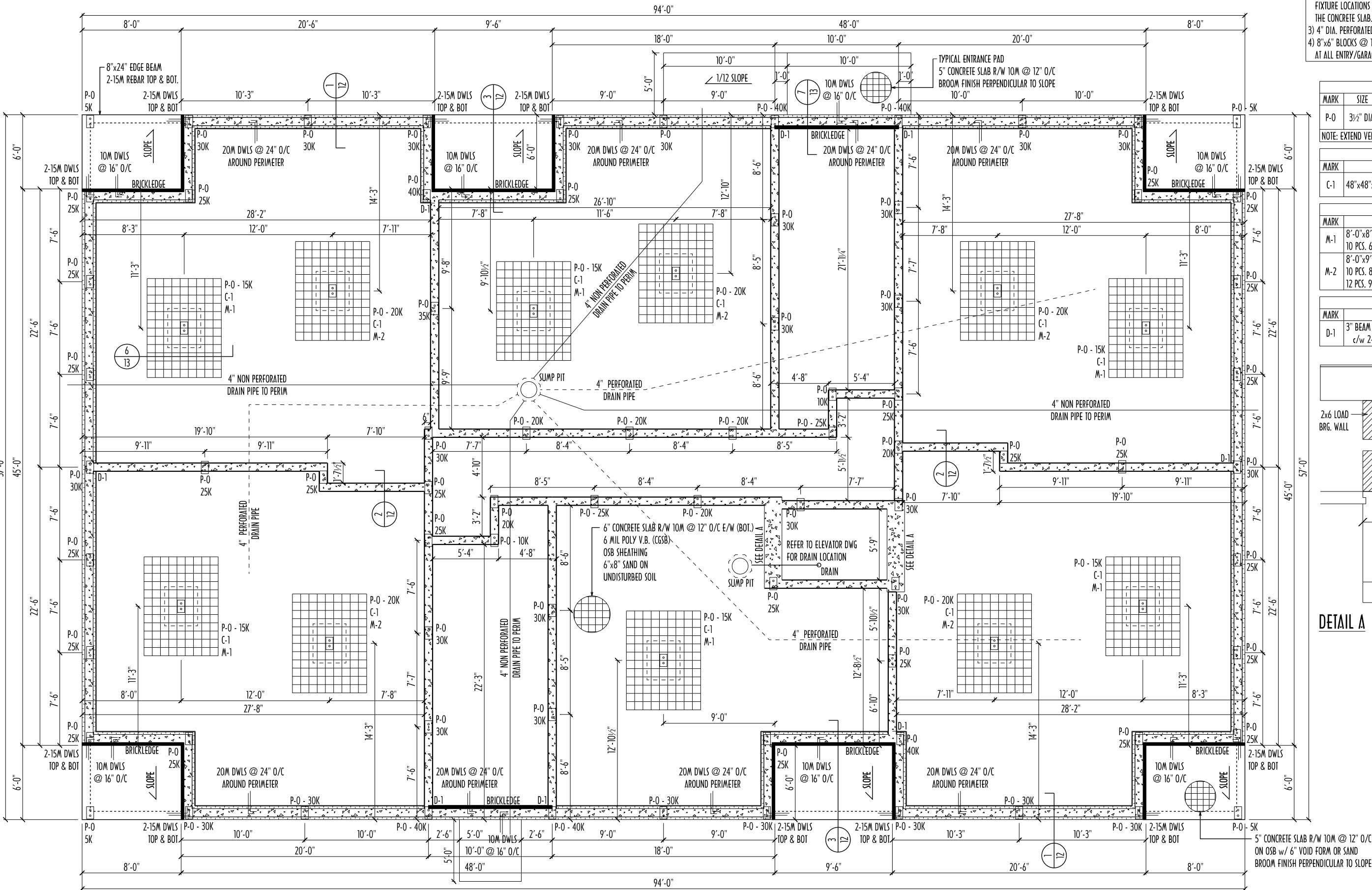
AREA (SUITES ONLY)			
SUITE	TYPE	NAME	SQ FT
01	A	SANTA CRUZ	735
02	B	HARTFORD	780
03	C	ASHLAND*	514
04	A	SANTA CRUZ	735
05	B	HARTFORD	780
06	C	ASHLAND*	514
-	-	-	-
07	A	SANTA CRUZ	735
08	B	HARTFORD	780
09	C	ASHLAND	540
10	A	SANTA CRUZ	735
11	B	HARTFORD	780
12	D	PRESCOTT	665
-	-	-	-
13	A	SANTA CRUZ	735
14	B	HARTFORD	780
15	C	ASHLAND	540
16	A	SANTA CRUZ	735
17	B	HARTFORD	780
18	D	PRESCOTT	665

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	Added rigid insulatio to exterior walls. (Amendment 2)
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S I T E P L A N	
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HILLSIDE CONSTRUCTION	
1-49 Clearspring Rd. Steinbach, MB R5G 1V2 PH. 204.326.1582 E-mail: info@hillsideconstruction.ca	
Location: 814 Scott Street, Fort Francis, ON	
Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: SCHEDULES & NOTES	Page: 02



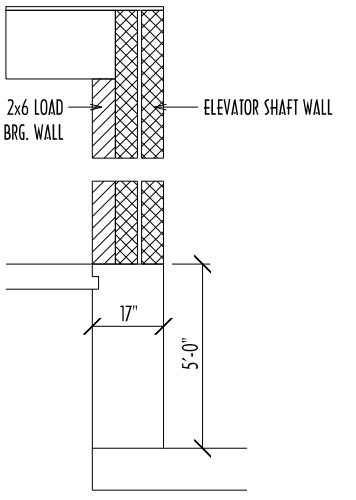
NOTES:
1) DIMENSIONS ON FOUNDATION PLAN ARE OUTSIDE-TO-OUTSIDE/CENTER OF CONCRETE.
2) OWNER/CONTRACTOR TO CONFIRM ALL PLUMBING/ELECTRICAL FIXTURE LOCATIONS WITH BOTH TRADES PRIOR TO POURING THE CONCRETE SLAB.
3) 4" DIA. PERFORATED FLEXPIPE @ PERIMETER.
4) 8"x6" BLOCKS @ 16" O/C TYPICAL FOR BASEMENT WALLS AT ALL ENTRY/GARAGE PAD LOCATIONS. (U.N.O.)

PILE SCHEDULE		
MARK	SIZE	DESCRIPTION
P-O	3 1/2" DIA.	DOUBLE 12" HELIX SCREW PILE OR STEEL PIPE PILE DRIVEN TO REFUSAL
NOTE: EXTEND VERT. REBAR INTO BM/FDN/SLAB		

CAP SCHEDULE	
MARK	DESCRIPTION
C-1	48"x48"x6" DROP PANEL

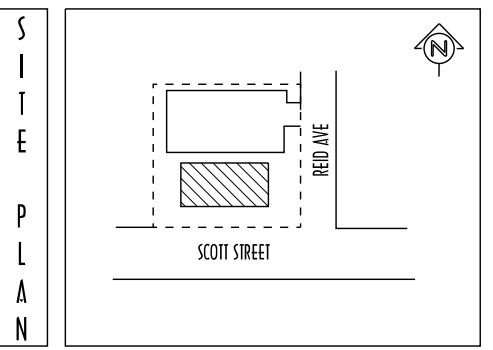
REBAR MAT SCHEDULE	
MARK	DESCRIPTION
M-1	8'-0"x8'-0" REBAR MAT C/W 10 PCS. 6'-0" LONG 10M EA. WAY
M-2	8'-0"x9'-0" REBAR MAT C/W 10 PCS. 8'-0" LONG 10M 12 PCS. 9'-0" LONG 10M

BEAM SEAT SCHEDULE	
MARK	DESCRIPTION
D-1	3" BEAM SEAT c/w 2-20M DOWELS, TOP & BOTTOM



DETAIL A

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	Added pile ratings, adjusted pile locations, mat sizes, and concrete design. Added brickledge at various locations and detail at elevator shaft. (Amendment 2)
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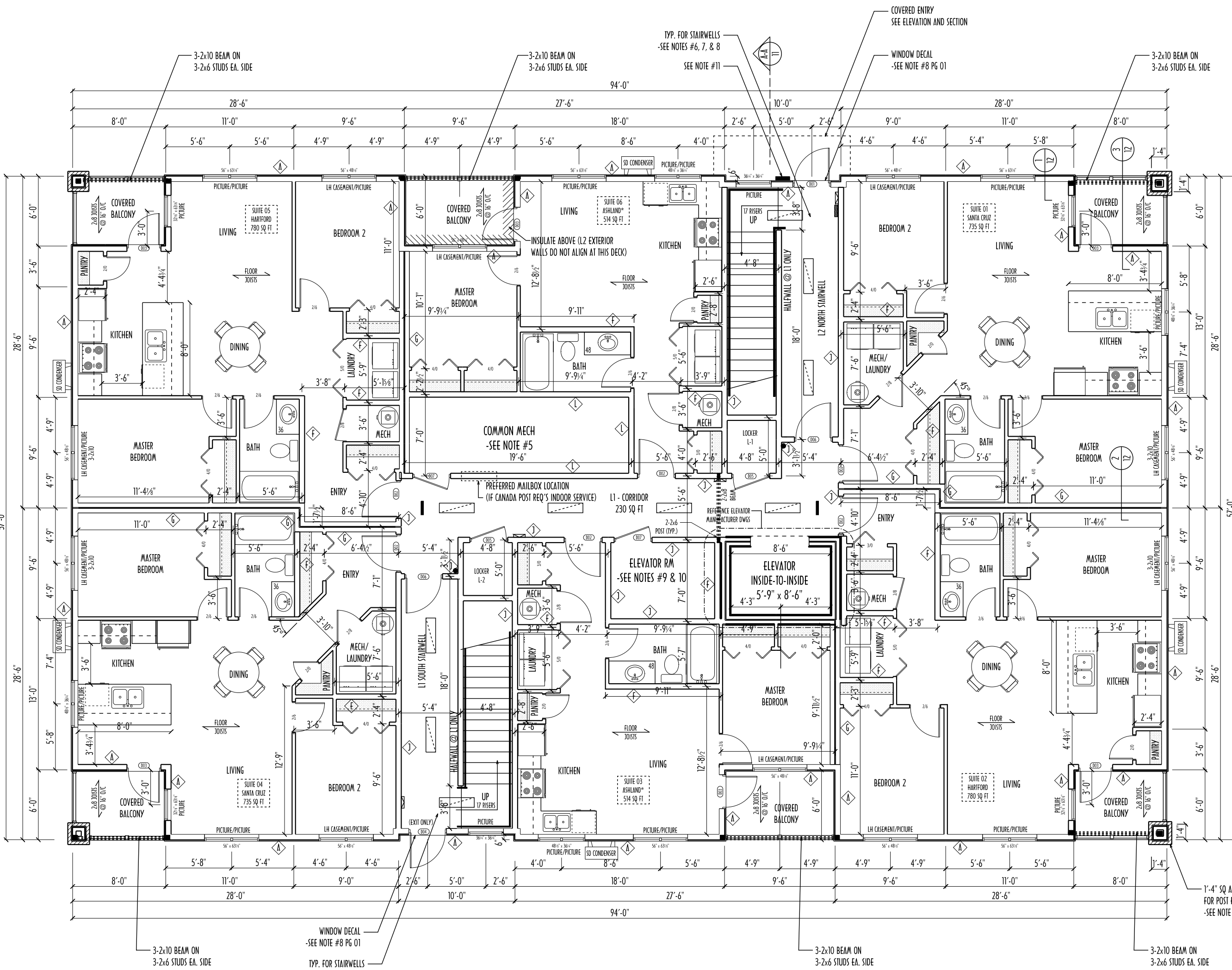
HILLSIDE CONSTRUCTION

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PH. 204.326.1582
E-mail: info@hillsideconstruction.ca

Location: 814 Scott Street, Fort Francis, ON	FFIVE DEVELOPMENT COMPANY
Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: FOUNDATION PLAN	Page: 03

FOUNDATION PLAN & MAIN FLOOR FRAMING

MAIN FLOOR LIVE LOAD = 40 PSF
MAIN FLOOR DEAD LOAD = 85 PSF
MAIN FLOOR TOTAL LOAD = 125 PSF

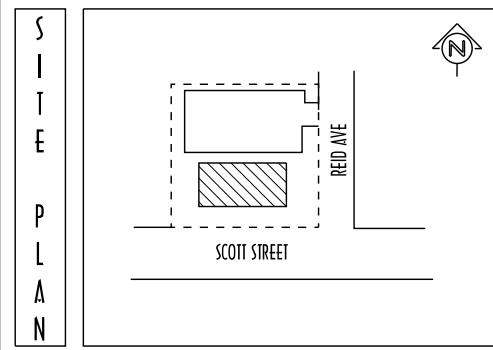


- NOTES:
- 1) REFER TO PG 02 FOR SCHEDULE AND DOOR STYLES
 - 2) ALL INTERIOR WALLS ARE WALL TYPE "H" U.N.O. REFER TO PG 02 FOR WALL TYPE SCHEDULE.
 - 3) REFER TO PG 02 FOR ADDITIONAL WINDOW AND DOOR NOTES.
 - 4) ALL LINTELS/HEADERS TO BE 2-2x10 U.N.O.
 - 5) MAIN TELECOM, METERS, & MAIN ELEC PANEL LOCATED WITHIN COMMON MECHANICAL ROOM.
 - 6) LANDINGS REQUIRE SUFFICIENT BACKING BETWEEN STUDS, ASPENITE REQUIRED BETWEEN DRYWALL & BACKING. SECURE LANDING w/ 5" STRUCTURAL SCREWS EVERY 12".
 - 7) CENTER OF 2x8 HANDRAIL BACKING (B/W STUDS) TO BE 35" ABOVE LEADING EDGE OF STEP (TYP.)
 - 8) STAIR INSTALLER TO SITE MEASURE PRIOR TO FAB.
 - 9) SUMP PUMP INSTALLED IN PIT LOCATED IN ELEVATOR ROOM, DEEP ENOUGH TO CATCH THE ELEVATOR PIT. SEE FOUNDATION PLAN PG 03
 - 10) ELEVATOR ROOM WALLS TO BE INSULATED FOR SOUND PURPOSES ONLY.
 - 11) INTERCOM SYSTEM SUPPLY AND INSTALLED PER CODE.
 - 12) BALCONY COLUMNS CONSTRUCTED FROM 2x4s AND WRAPPED IN 1/2" PLYWD. CENTER 3-2x4 POST TO SUPPORT DECK BEAM ABOVE.
 - 13) SMOKE DETECTORS AND PULL STATIONS TO BE INSTALLED AS REQUIRED BY CODE.

ELECTRICAL LEGEND	
	EXIT SIGN
	FIRE EXTINGUISHER
	FLORESCENT LIGHT
	ELECTRIC HEATER
	FIRE PANEL

L1 - FLOORPLAN
FOOTPRINT = 5,070 SQ FT

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	Adjusted lintels and stair design. (Amendment 2)
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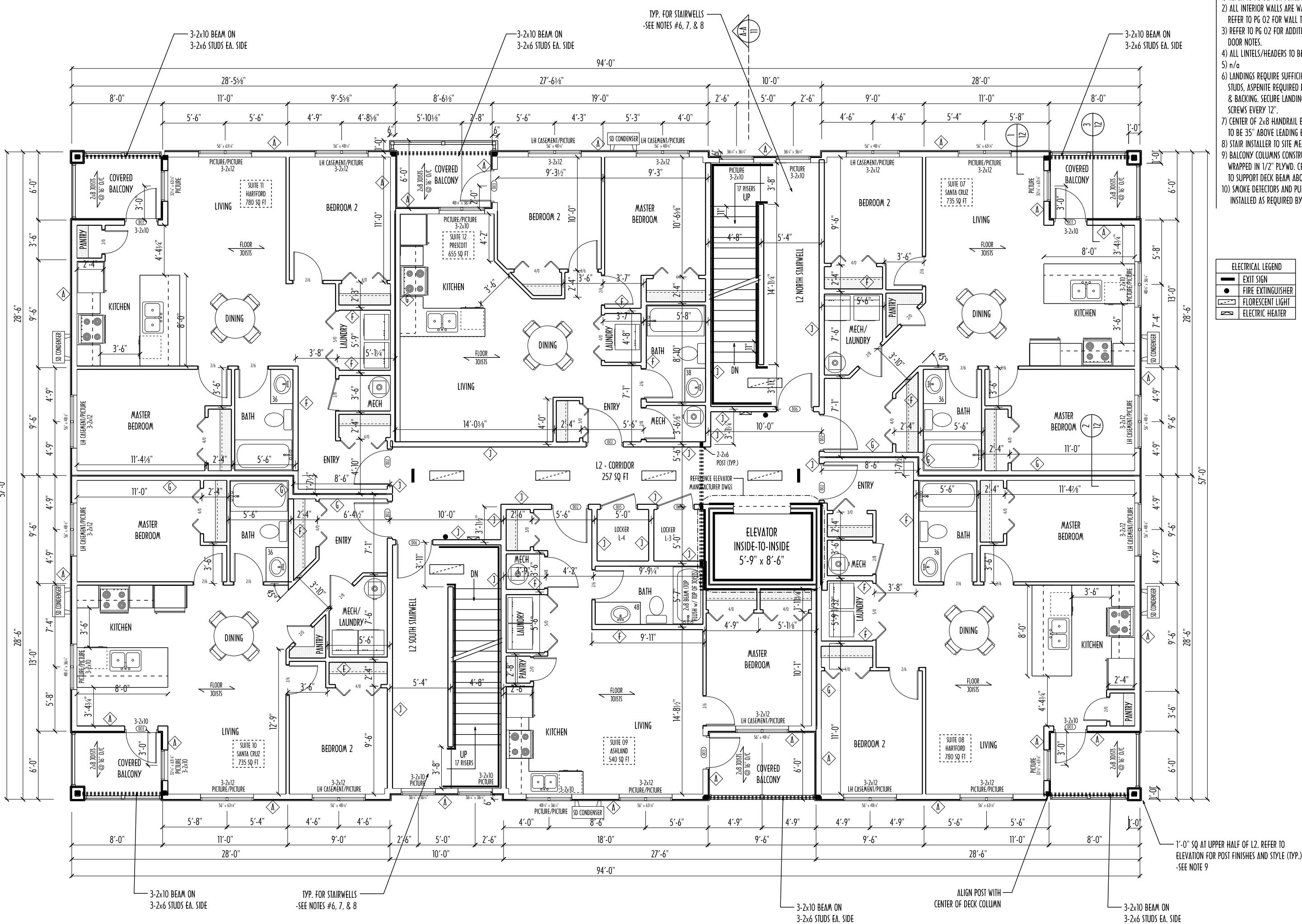


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E-mail: info@hillsideconstruction.ca

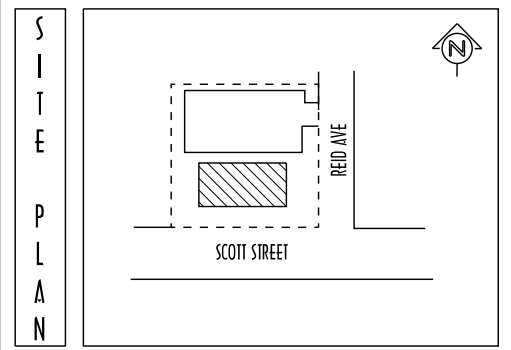
Location: 814 Scott Street, Fort Francis, ON	
Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: L1 FLOORPLAN	Page: 04



- NOTES:
- 1) REFER TO PG 02 FOR SCHEDULE AND DOOR STYLES
 - 2) ALL INTERIOR WALLS ARE WALL TYPE "H" U.N.O. REFER TO PG 02 FOR WALL TYPE SCHEDULE.
 - 3) REFER TO PG 02 FOR ADDITIONAL WINDOW AND DOOR NOTES.
 - 4) ALL LINTELS/HEADERS TO BE 3-2x10 U.N.O.
 - 5) n/a
 - 6) LANDINGS REQUIRE SUFFICIENT BACKING BETWEEN STUDS, ASPENITE REQUIRED BETWEEN DRYWALL & BACKING. SECURE LANDING w/ 5" STRUCTURAL SCREWS EVERY 12".
 - 7) CENTER OF 2x8 HANDRAIL BACKING (B/W STUDS) TO BE 35" ABOVE LEADING EDGE OF STEP (TYP.)
 - 8) STAIR INSTALLER TO SITE MEASURE PRIOR TO FAB.
 - 9) BALCONY COLUMNS CONSTRUCTED FROM 2x4s AND WRAPPED IN 1/2" PLYWD. CENTER 3-2x4 POST TO SUPPORT DECK BEAM ABOVE.
 - 10) SMOKE DETECTORS AND PULL STATIONS TO BE INSTALLED AS REQUIRED BY CODE.

ELECTRICAL LEGEND	
	EXIT SIGN
	FIRE EXTINGUISHER
	FLORESCENT LIGHT
	ELECTRIC HEATER

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	Adjusted lintels, unit 12's bedroom window sizes, and stairwell design, and added beams or walls at elevator shaft. (Amendment 2)
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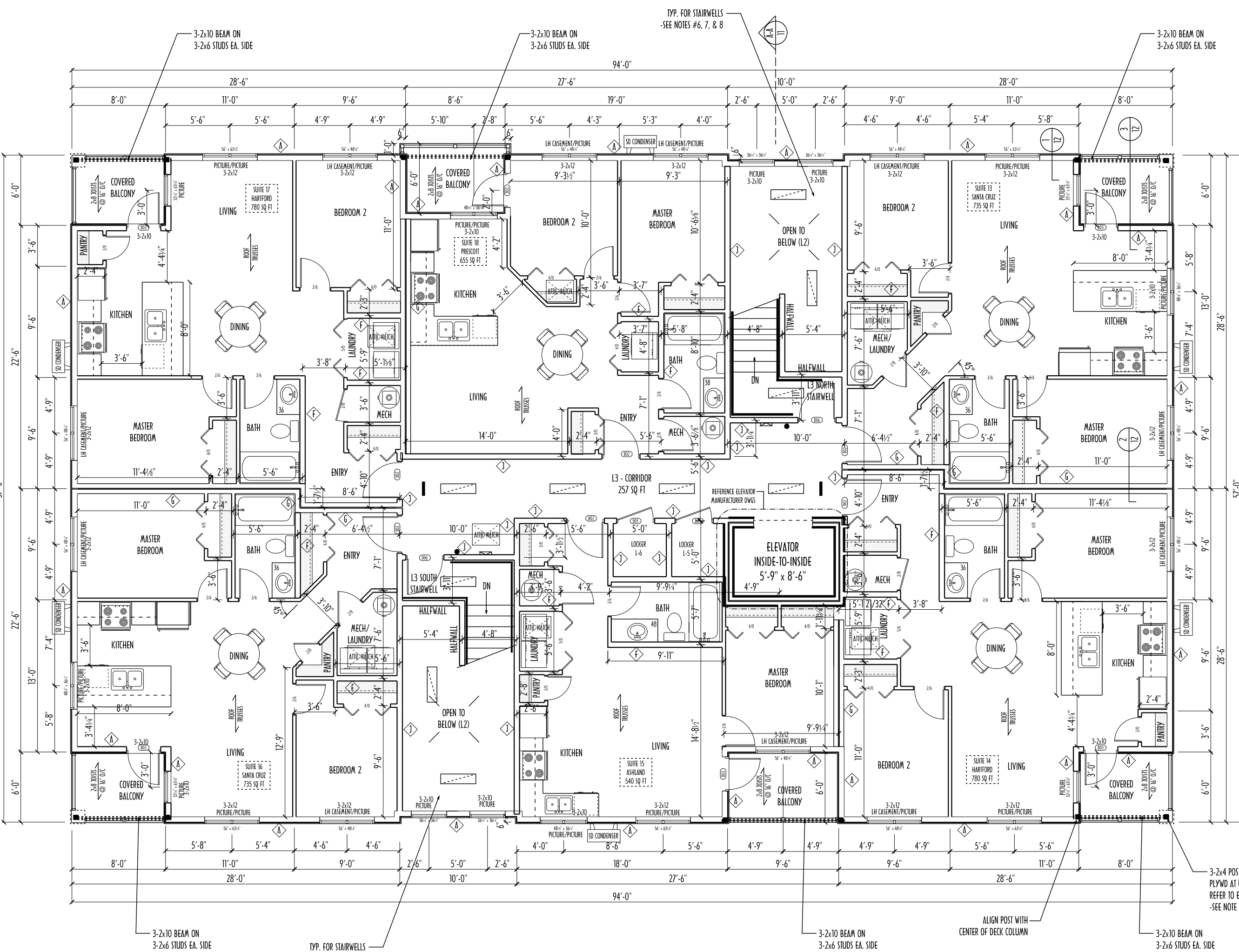
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Location: 814 Scott Street, Fort Francis, ON	
Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: L2 FLOORPLAN	Page: 05

L2 - FLOORPLAN
FOOTPRINT = 5,070 SQ FT
ALTERNATE LINTELS:
3-2x10 OR 2 PLY 9/4" LVL
3-2x12 OR 2 PLY 9 1/2" LVL

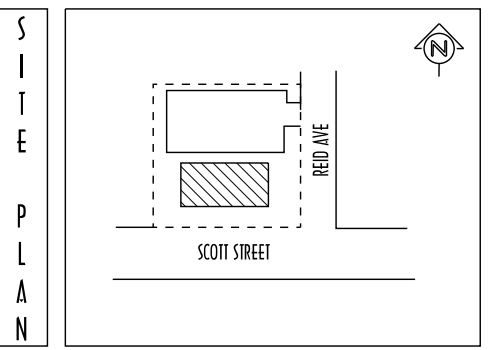


- NOTES:
- 1) REFER TO PG 02 FOR SCHEDULE AND DOOR STYLES
 - 2) ALL INTERIOR WALLS ARE WALL TYPE "H" U.N.O. REFER TO PG 02 FOR WALL TYPE SCHEDULE.
 - 3) REFER TO PG 02 FOR ADDITIONAL WINDOW AND DOOR NOTES.
 - 4) ALL LINTELS/HEADERS TO BE 3-2x10 U.N.O.
 - 5) n/a
 - 6) LANDINGS REQUIRE SUFFICIENT BACKING BETWEEN STUDS, ASPENITE REQUIRED BETWEEN DRYWALL & BACKING. SECURE LANDING w/ 5" STRUCTURAL SCREWS EVERY 12".
 - 7) CENTER OF 2x8 HANDRAIL BACKING (B/W STUDS) TO BE 35" ABOVE LEADING EDGE OF STEP (TYP.)
 - 8) STAIR INSTALLER TO SITE MEASURE PRIOR TO FAB.
 - 9) BALCONY COLUMNS CONSTRUCTED FROM 2x4s AND WRAPPED IN 1/2" PLYWD. CENTER 3-2x4 POST TO SUPPORT ROOF TRUSSES ABOVE.
 - 10) FOR ATTIC HATCHES SEE DETAIL 4/13
 - 11) SMOKE DETECTORS AND PULL STATIONS TO BE INSTALLED AS REQUIRED BY CODE.

ELECTRICAL LEGEND	
[Symbol]	EXIT SIGN
[Symbol]	FIRE EXTINGUISHER
[Symbol]	FLORESCENT LIGHT
[Symbol]	ELECTRIC HEATER

L3 - FLOORPLAN
FOOTPRINT = 5,070 SQ FT
ALTERNATE LINTELS:
3-2x10 OR 2 PLY 9/4" LVL
3-2x12 OR 2 PLY 9/2" LVL

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	Adjusted lintels, unit 18's bedroom window sizes, and stairwell design. (Amendment 2)
2		
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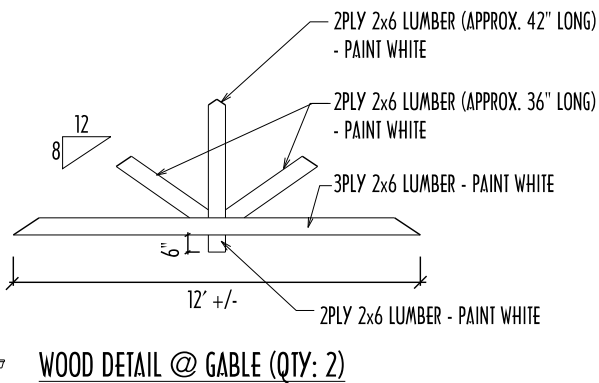
Location: 814 Scott Street, Fort Francis, ON	FFIVE DEVELOPMENT COMPANY
Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: L3 FLOORPLAN	Page: 06



FRONT ELEVATION
SEE PG 02 FOR FINISH SCHEDULE

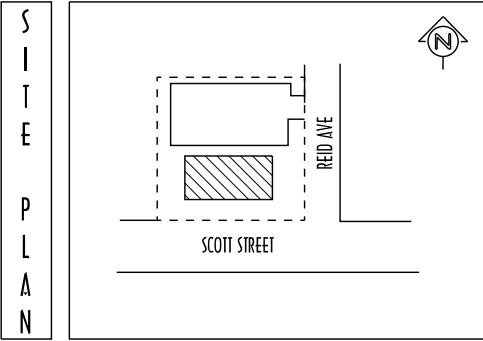


BACK ELEVATION
SEE PG 02 FOR FINISH SCHEDULE



WOOD DETAIL @ GABLE (QTY: 2)

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	Switched to 18" trusses and adj. windows to match floorplans. (Amendment 2)
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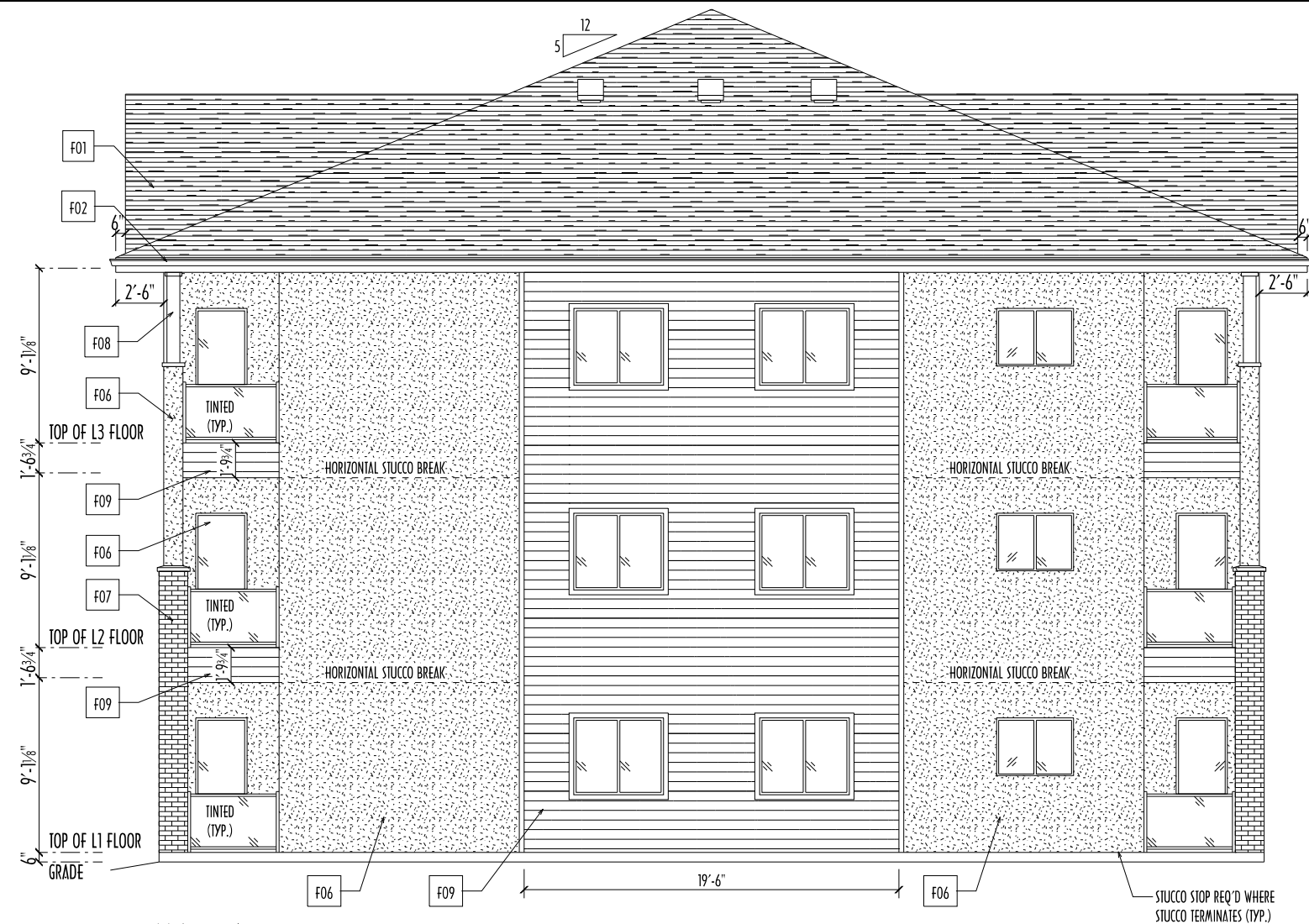


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T	property of Hillside Construction	deviations or omissions that
E	Inc. and shall not be reproduced	may occur are to be reported.
S	without written permission.	- Subtrades shall verify drawings
	- Hillside Construction Inc. will	with Hillside Construction Inc.
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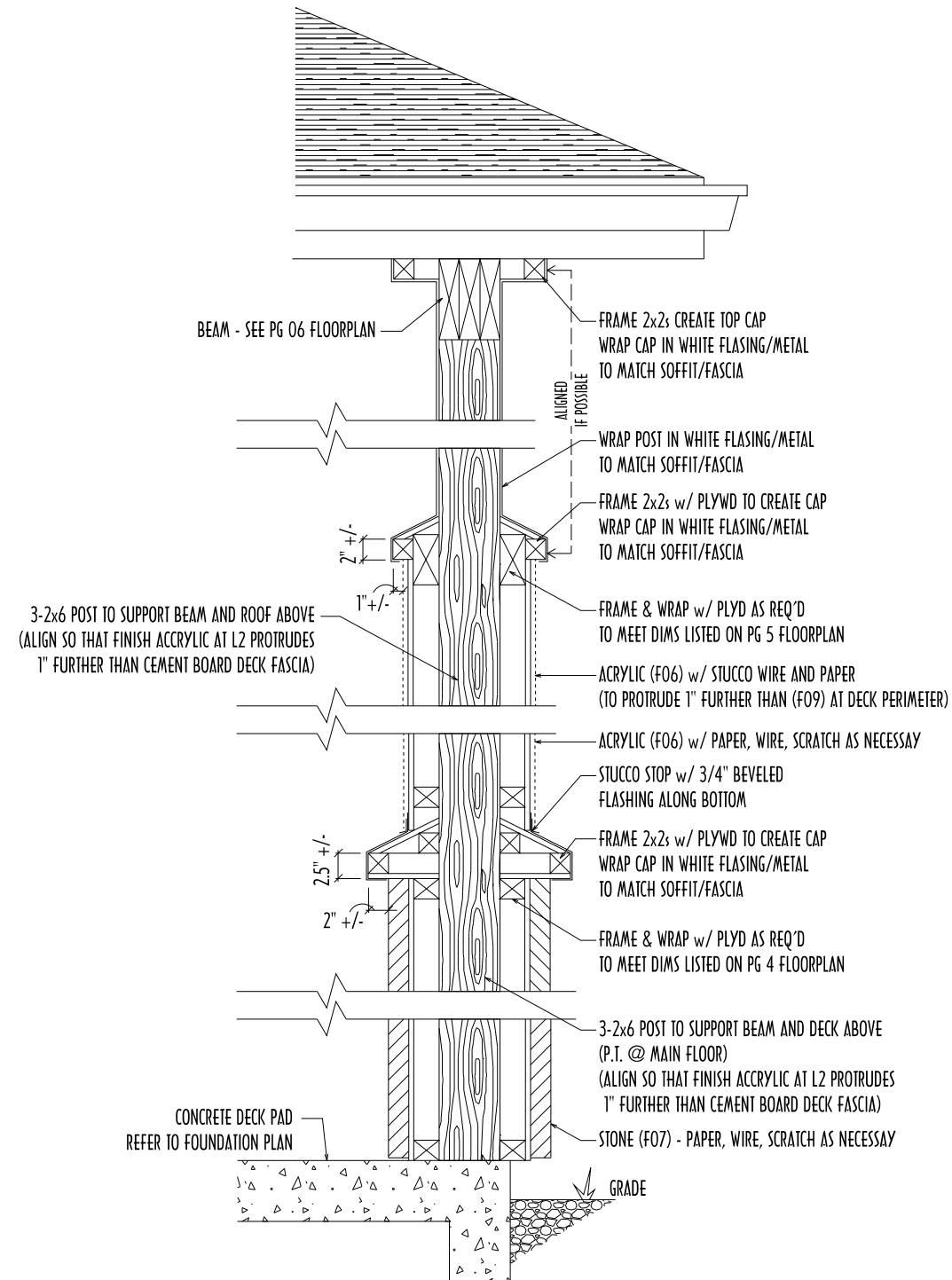
Location: 814 Scott Street, Fort Francis, ON	FFIVE DEVELOPMENT COMPANY
Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: ELEVATIONS - FRONT & BACK	Page: 07



LEFT ELEVATION
SEE PG 02 FOR FINISH SCHEDULE

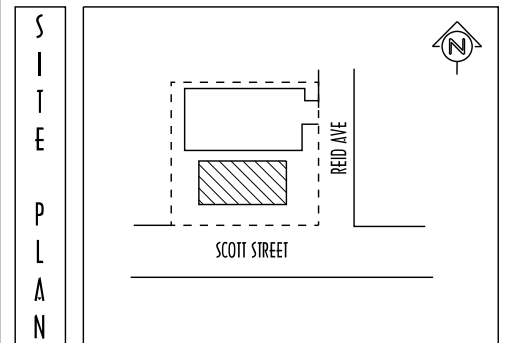


RIGHT ELEVATION
SEE PG 02 FOR FINISH SCHEDULE



DETAIL A - COLUMNS @ BALCONY CORNERS

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	P.I. posts @ main floor in colum detail, switched to 18" floor trusses, and adjusted windows to match floorplans. (Amendment 2)
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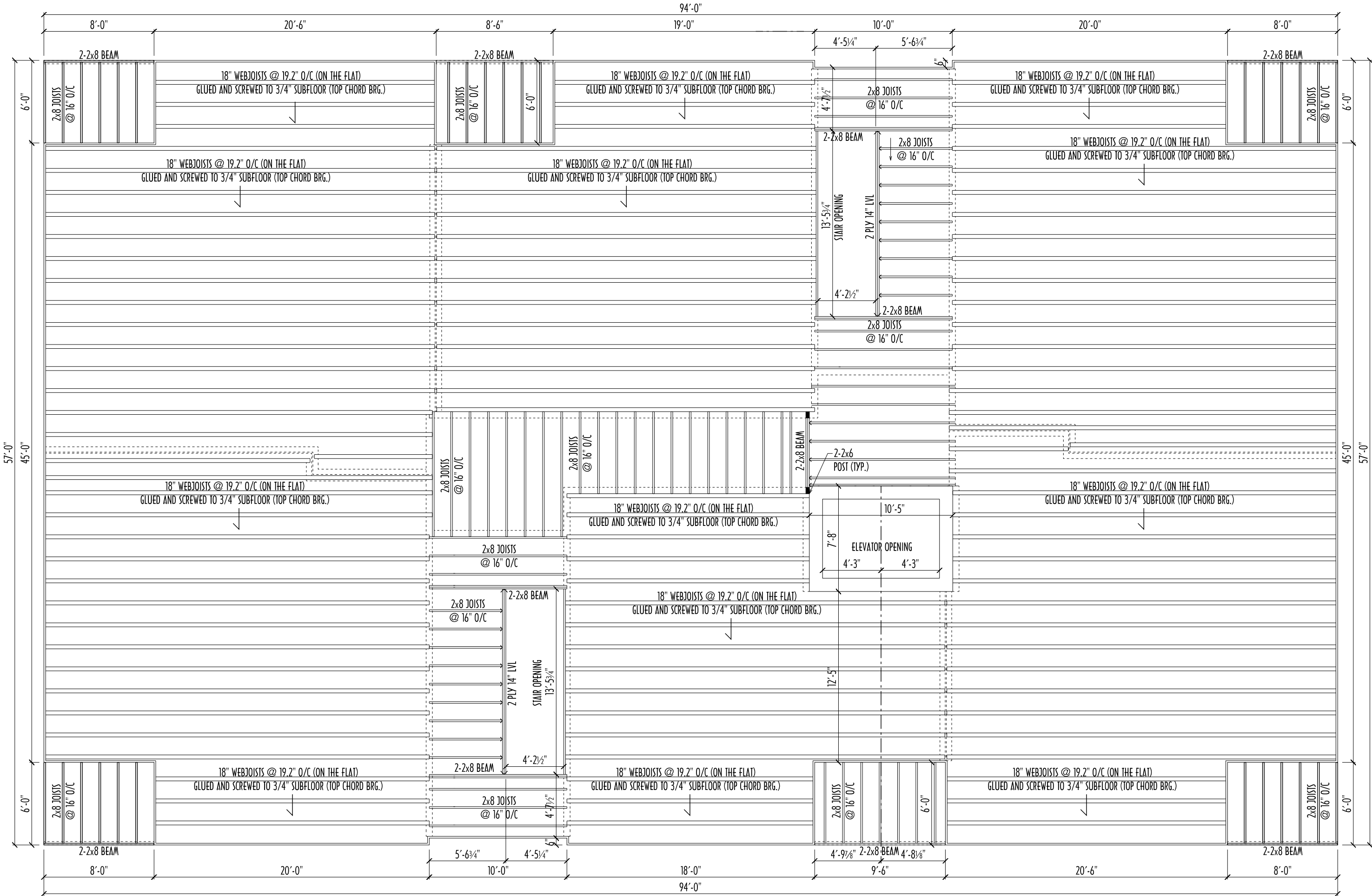


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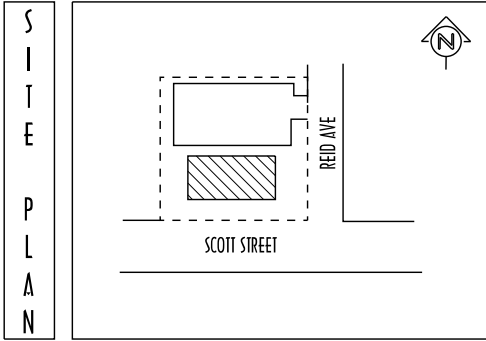
Location: 814 Scott Street, Fort Francis, ON	FFIVE DEVELOPMENT COMPANY
Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: ELEVATIONS - LEFT & RIGHT	Page: 08



2ND FLOOR JOIST PLAN

LIVE LOAD = 40 PSF
DEAD LOAD = 30 PSF

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	Switched to 18" top chord brg. trusses, moved joists and beams around at elevator shaft, and adjusted stairwell openings. (Amendment 2)
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T	- Hillside Construction Inc. will take no responsibility for	
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Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: L2 FLOOR JOIST PLAN	Page: 09

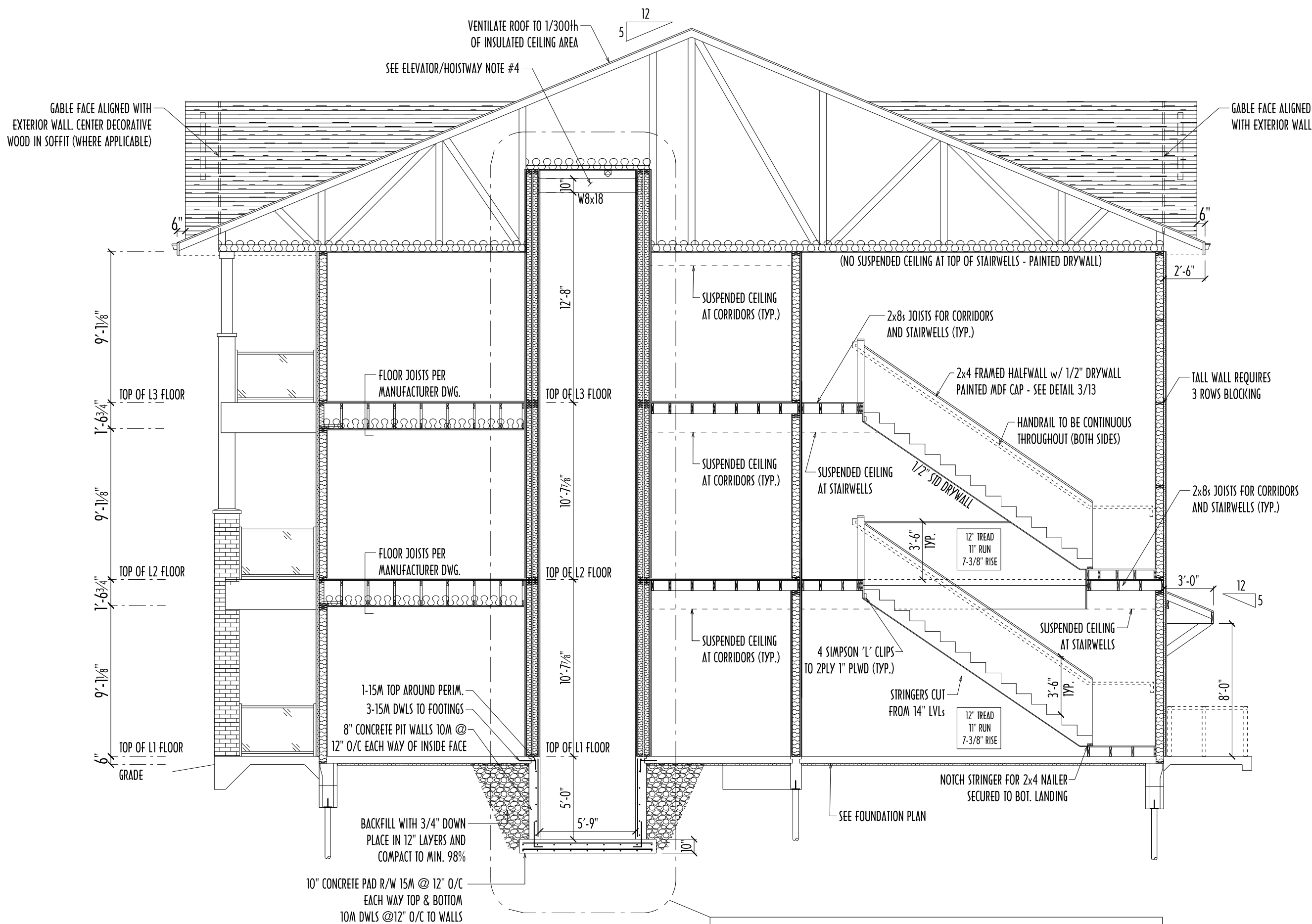


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Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: L3 FLOOR JOIST PLAN	<div>Page:</div> <div>10</div>

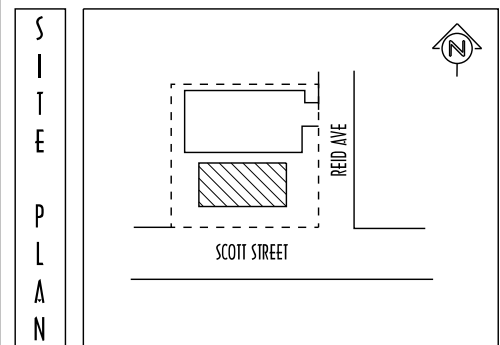


A-A CROSS SECTION

ELEVATOR/HOISTWAY NOTES:

- 1) ELEVATOR DRAWINGS SUBMITTED BY MANUFACTURER OVERRIDE HILLSIDE CONSTRUCTION DRAWINGS. ANY/ALL DISCREPANCIES ARE TO BE COMMUNICATED TO HILLSIDE CONSTRUCTION ASAP. CONTRACTORS ARE RESPONSIBLE TO COMPLY WITH ALL REQUIREMENTS INDICATED IN HYD 2500 SERIES DRAWINGS, AND ANY APPLICABLE CODES RELATING TO ELEVATORS OF THIS NATURE.
- 2) HOISTWAY TO BE CONSTRUCTED ENTIRELY PLUMB, WITH VARIATIONS FROM THE SIZE SHOWN ON THE DRAWINGS NOT TO EXCEED 25mm (ref. HYD 2500 - "5")
- 3) PIT TO RECEIVE FLOOR DRAIN OR SLUMP PUMP, LOCATION TO BE COORDINATED WITH ELEVATOR MANUFACTURER TO AVOID ELEVATOR COMPONENTS (ref. HYD 2500 - "8")
- 4) STEEL SAFETY BEAM, FROM SIDE WALL TO SIDE WALL, CAPABLE OF WITHSTANDING MAX NET LIVE LOAD OF 5,000 lb. (W8x18) MIN. 2" CLEAR ABOVE BEAM (ref. HYD 2500 - "13")

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	Adjusted blocking notes, steel beam sizes, rebar in elevator pit, joist dir. stair design, and shaft wall const. Added rigid insul. to ext. of walls and below slab. (Amendment 2)
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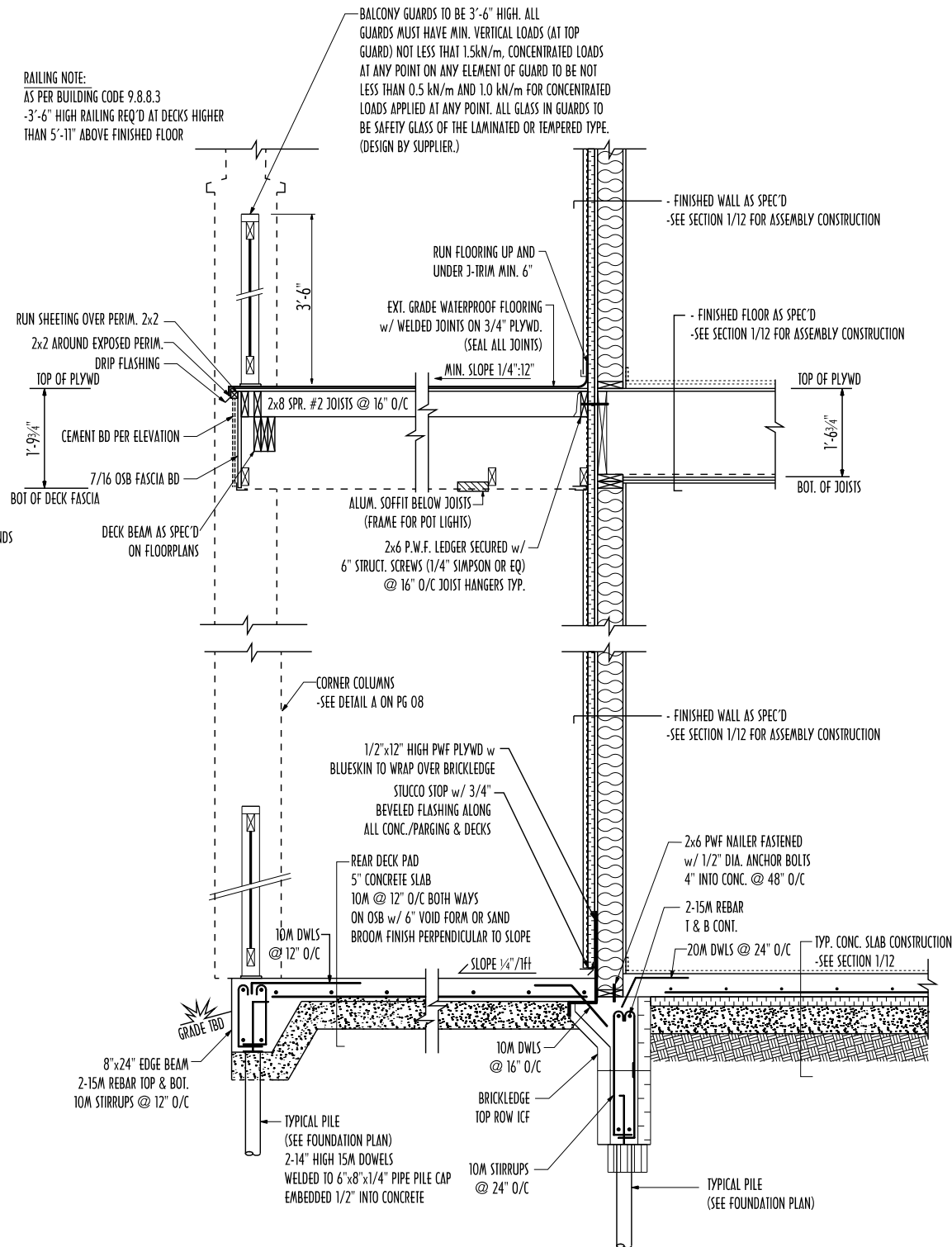
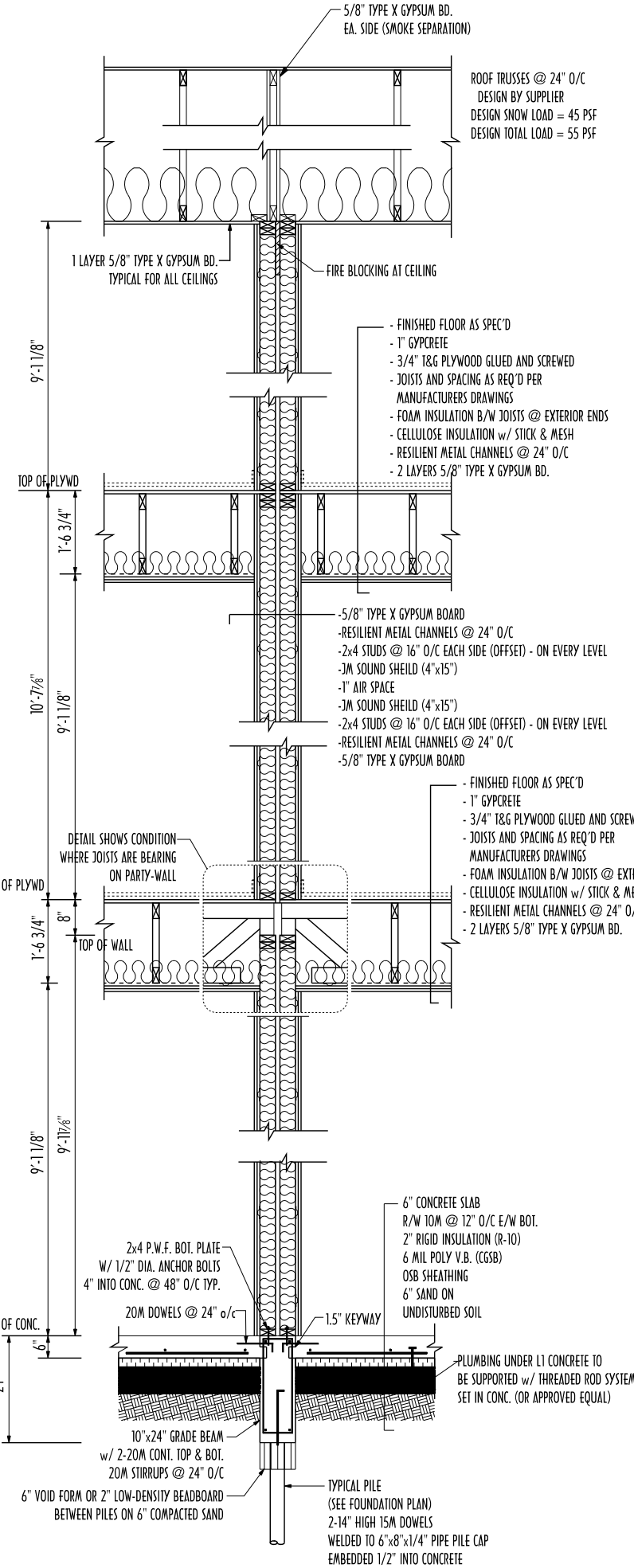
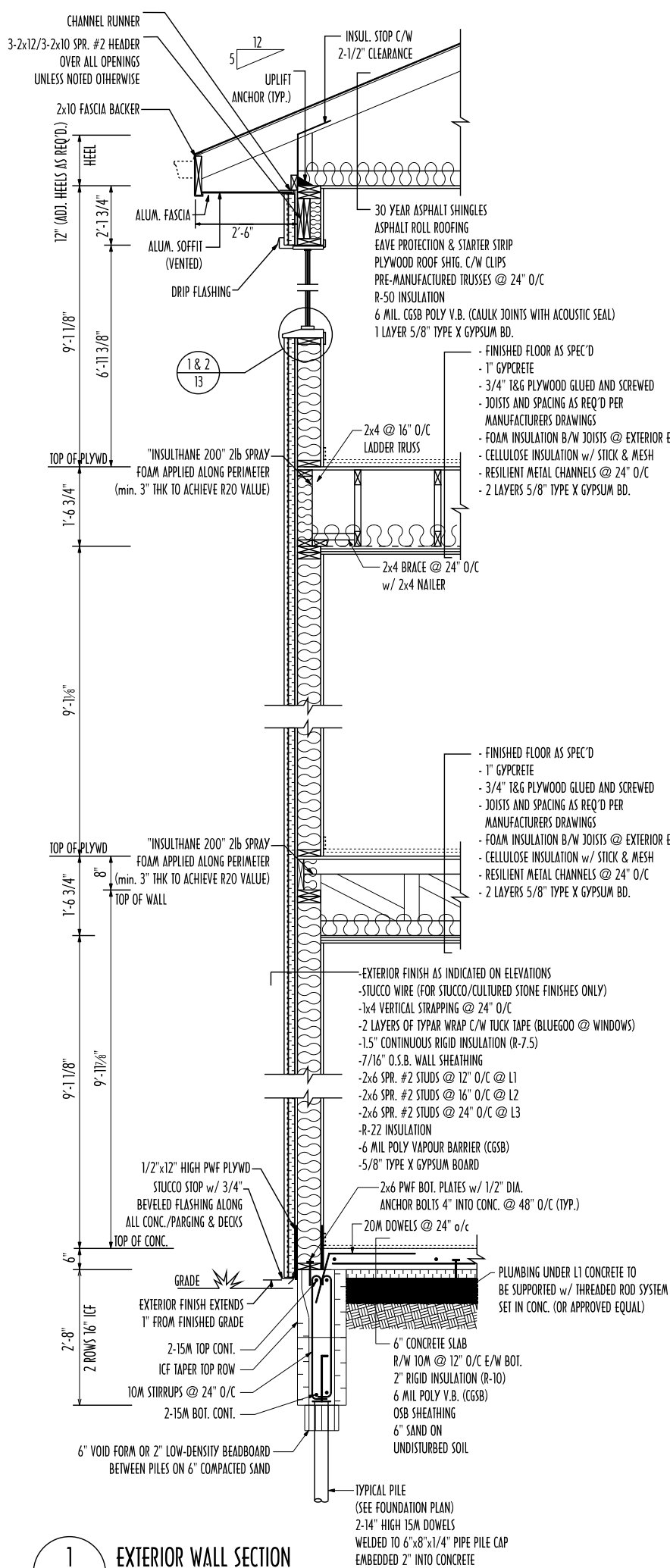


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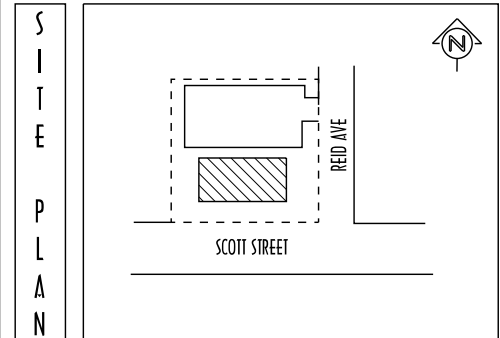
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PH. 204.326.1582
E-mail: info@hillsideconstruction.ca

Location: 814 Scott Street, Fort Francis, ON	FFIVE DEVELOPMENT COMPANY
Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: CROSS SECTION	Page: 11



DRAWING REVISIONS

Rev #	Date	Revision
1	06/29/2020	Plumbing under L1 to be supported (Amendment 1)
2	09/16/2020	Switched to 18" top chord bearing trusses, adjusted rebar and concrete requirements for slab/gr. beams balconies, deck joists, and rigid insul. on ext. walls and under slab. (Amendment 2)
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PH. 204.326.1582

E-mail: info@hillsideconstruction.ca

Location:
814 Scott Street, Fort Francis, ON



Drawing by:
TF & TT & WG

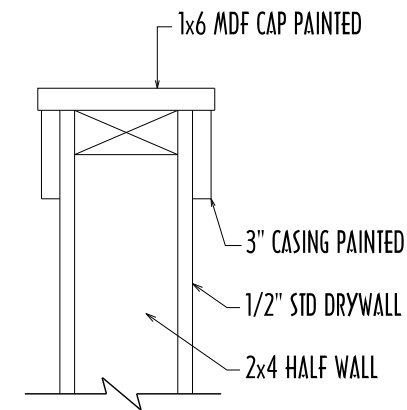
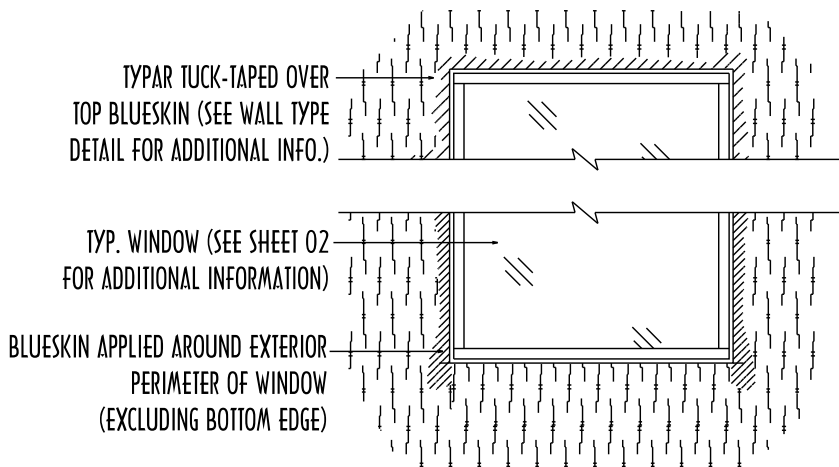
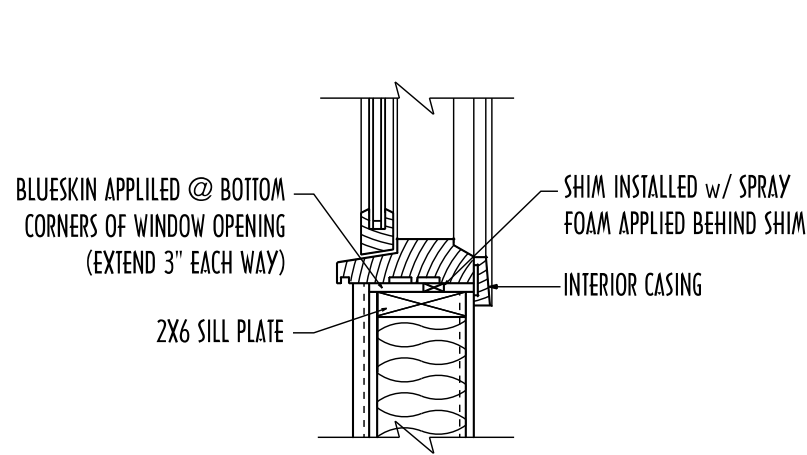
Date:
Feb 24, 2020

Project:
18 Plex Apartment

Job No.: 408-A

Sheet Title:
SECTIONS 1

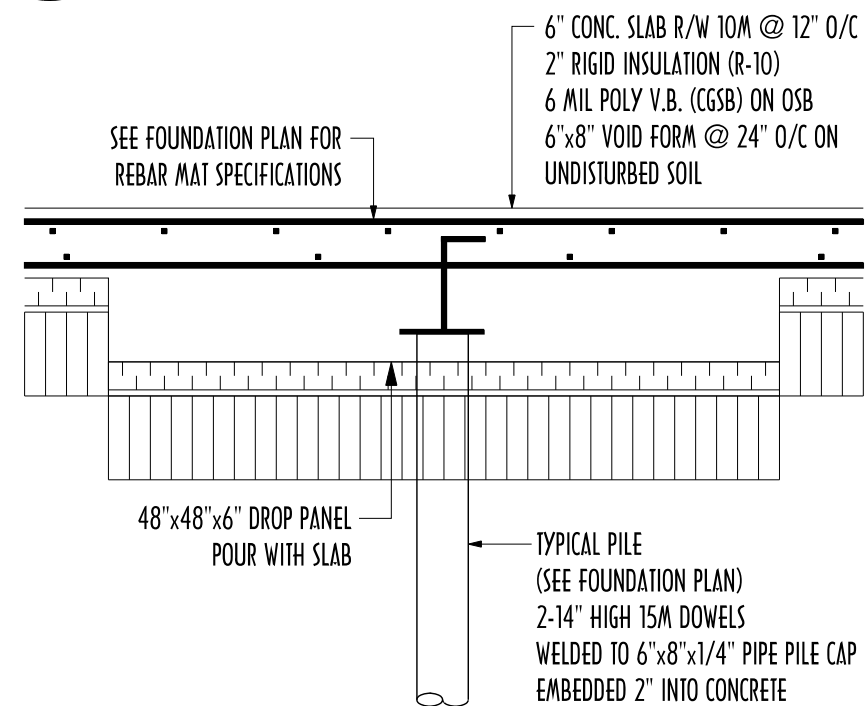
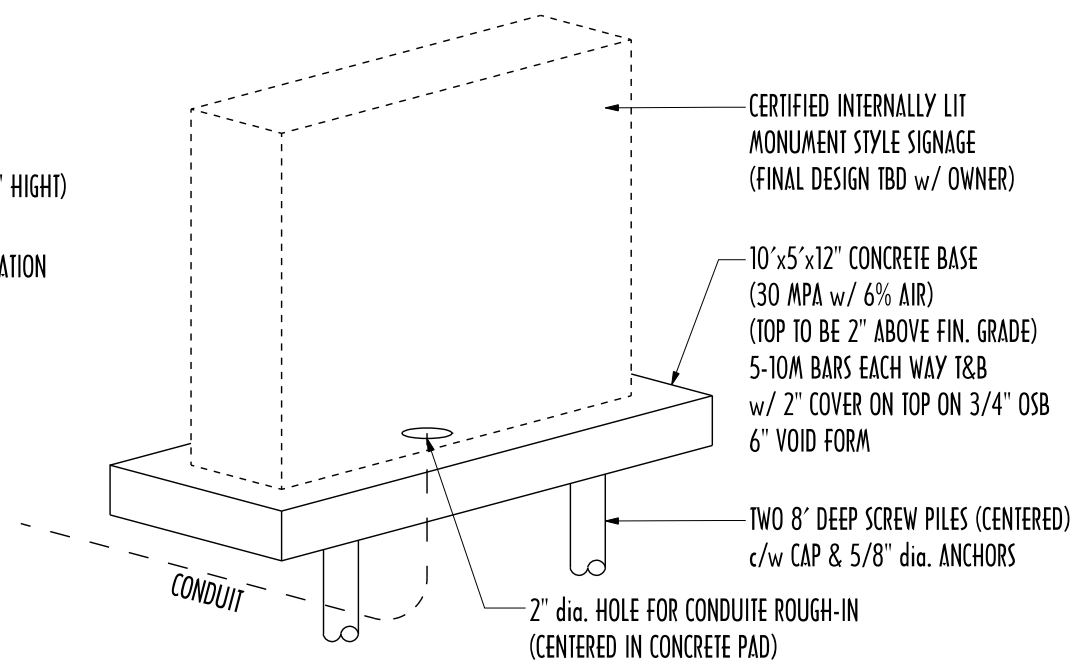
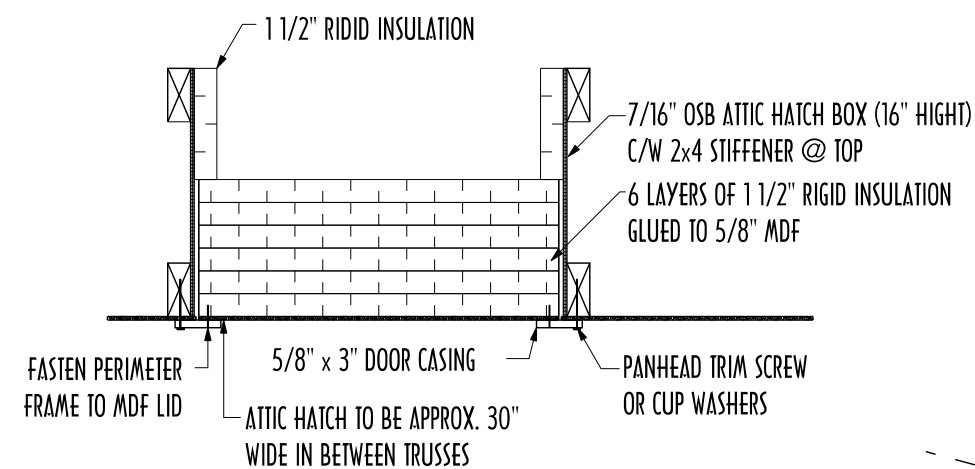
Page: 12



1 13 SECTION @ WINDOWS

2 13 WATERPROOFING @ WINDOW DETAIL

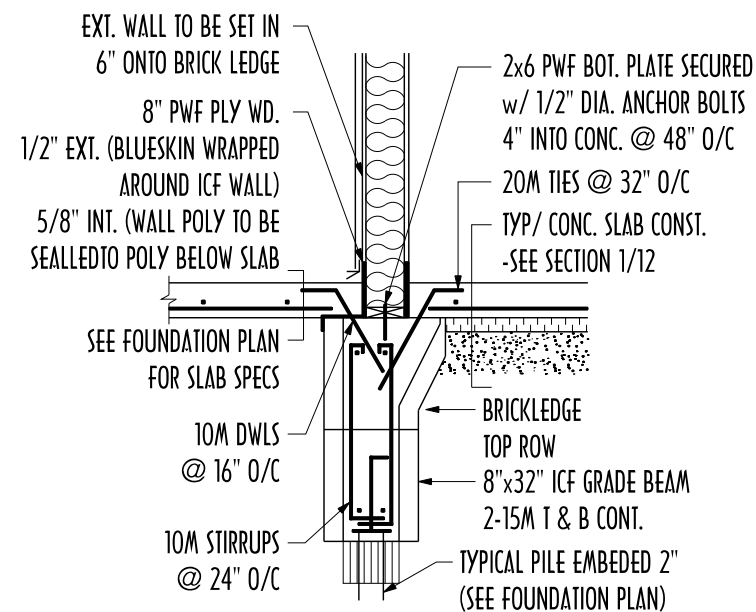
3 13 WALL CAP DETAIL



4 13 SECTION - @ ATTIC ACCESS

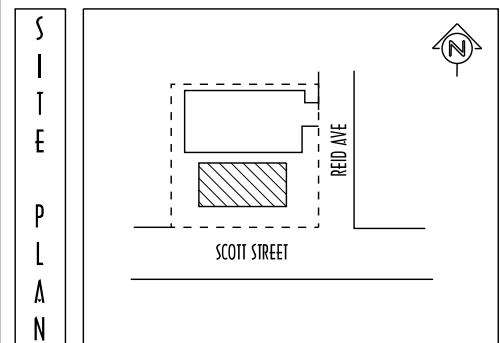
5 13 PROPERTY SIGN

6 13 PILE/CAP/MAT SECTION



7 13 DETAIL @ ENTRANCES

DRAWING REVISIONS		
Rev #	Date	Revision
1	09/17/2020	Adjusted rebar and concrete requirements for slab/gr. beams and rigid insulation under slab. Added blueskin/poly notes at entrance. (Ammendment 2)
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Drawing by: TF & TT & WG	Date: Feb 24, 2020
Project: 18 Plex Apartment	Job No. : 408-A
Sheet Title: SECTIONS 2	Page: 13